

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:
17 Mary Street, Benalla
Lot 10, LP22299, Parish of Benalla

The application is for a permit to:
Construct 5 single storey dwellings

The applicant for the permit is:
Bruce Mactier Building Designers

The application reference number is:
P0146/23
DA7063

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

An objection must:

- * be made to the responsible authority in writing;
- * include the reasons for the objection; and
- * state how the objector would be affected.

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

The Responsible Authority will not decide on the application before:

2 January 2024

If you object, the Responsible Authority will tell you its decision.



Planning Enquiries
Phone: (03) 5760 2600
Web: www.benalla.vic.gov.au

Clear Form

Office Use Only

Application No.:

Date Lodged: / /

Application for a Planning Permit

If you need help to complete this form, read **MORE INFORMATION** at the end of this form.

Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any questions, please contact Council's planning department.

Questions marked with an asterisk (*) must be completed.

If the space provided on the form is insufficient, attach a separate sheet.

Click for further information.

The Land

Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address *

Unit No.:

St. No.: 17

St. Name: Mary Street

Suburb/Locality: Benalla

Postcode: 3672

Formal Land Description *

Complete either A or B.

This information can be found on the certificate of title.

If this application relates to more than one address, attach a separate sheet setting out any additional property details.

A

Lot No.: 10

☐ Lodged Plan☐ Title Plan☒ Plan of Subdivision

No.: 022299

OR**B**

Crown Allotment No.:

Section No.:

Parish/Township Name:

The Proposal

You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

For what use, development or other matter do you require a permit? *

Proposed 5 Dwelling development with proposed crossover.

☒ Provide additional information about the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

Estimated cost of any development for which the permit is required *

Cost \$ 1,400,000

You may be required to verify this estimate. Insert '0' if no development is proposed.

Existing Conditions

Describe how the land is used and developed now *

For example, vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

Vacant

☒ Provide a plan of the existing conditions. Photos are also helpful.

Title Information

Encumbrances on title *

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- ☐ Yes (If 'yes' contact Council for advice on how to proceed before continuing with this application.)
- ☒ No
- ☐ Not applicable (no such encumbrance applies).

☒ Provide a full, current copy of the title for each individual parcel of land forming the subject site. The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', for example, restrictive covenants.

Applicant and Owner Details

Provide details of the applicant and the owner of the land.

Applicant *

The person who wants the permit.

Please provide at least one contact phone number *

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

Name:		
Title:	First Name: Melissa	Surname: McCoy
Organisation (if applicable): Bruce Mactier Building Designers		
Postal Address:		If it is a P.O. Box, enter the details here:
Unit No.: 2	St. No.: 4	St. Name: Welsford Street
Suburb/Locality: Shepparton		State: VIC
		Postcode: 3630

Contact information for applicant OR contact person below

Business phone: 03 5822 1255	Email: admin@brucemactier.com
Mobile phone:	Fax:

Contact person's details*

Same as applicant ☒

Name:		
Title:	First Name:	Surname:
Organisation (if applicable):		
Postal Address:		If it is a P.O. Box, enter the details here:
Unit No.:	St. No.:	St. Name:
Suburb/Locality:		State:
		Postcode:

Owner *

The person or organisation who owns the land


Where the owner is different from the applicant, provide the details of that person or organisation.

Same as applicant ☐

Name:		
Title:	First Name:	Surname:
Organisation (if applicable): Rural Housing Network Ltd		
Postal Address:		If it is a P.O. Box, enter the details here:
Unit No.: 4	St. No.: 111-113	St. Name: Hume Street
Suburb/Locality: Wodonga		State: VIC
		Postcode: 3690
Owner's Signature (Optional):		Date:
		day / month / year

Declaration

This form must be signed by the applicant *

 Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant; and that all the information in this application is true and correct; and the owner (if not myself) has been notified of the permit application.

Signature:



Date: 14/11/2023

day / month / year

Privacy consent

I give consent to my personal information disclosed in the application to be made available for public inspection, including on Council's public website, whilst the application is being determined, in accordance with Section 51 of the Planning and Environment Act 1987.

Yes ☒ No ☐

Signature:

Date: 14/11/2023

day / month / year

Need help with the Application?

General information about the planning process is available at planning.vic.gov.au

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application.

Has there been a pre-application meeting with a council planning officer?

☒ No ☐ Yes

If 'Yes', with whom?

Date:

day / month / year

Checklist

Have you:



Filled in the form completely?



Paid or included the application fee?



Most applications require a fee to be paid. Contact Council to determine the appropriate fee.



Provided all necessary supporting information and documents?



A full, current copy of title information for each individual parcel of land forming the subject site.



A plan of existing conditions.



Plans showing the layout and details of the proposal.



Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.



If required, a description of the likely effect of the proposal (for example, traffic, noise, environmental impacts).



Completed the relevant council planning permit checklist?



Signed the declaration above?

Lodgement

Lodge the completed and signed form, the fee and all documents with:

Benalla Rural City Council
PO Box 227
Benalla VIC 3671

Customer Service Centre
1 Bridge Street East
Benalla VIC 3671

Contact information:

Phone (03) 5760 2600
Email: council@benalla.vic.gov.au
DX: 32230

Deliver application in person, by post or by electronic lodgement.

MORE INFORMATION

The Land

Planning permits relate to the use and development of the land. It is important that accurate, clear and concise details of the land are provided with the application.

How is land identified?


Land is commonly identified by a street address, but sometimes this alone does not provide an accurate identification of the relevant parcel of land relating to an application. Make sure you also provide the formal land description – the lot and plan number or the crown, section and parish/township details (as applicable) for the subject site. This information is shown on the title.

See **Example 1**.

The Proposal

Why is it important to describe the proposal correctly?


The application requires a description of what you want to do with the land. You must describe how the land will be used or developed as a result of the proposal. It is important that you understand the reasons why you need a permit in order to suitably describe the proposal. By providing an accurate description of the proposal, you will avoid unnecessary delays associated with amending the description at a later date.

 Planning schemes use specific definitions for different types of use and development. Contact the Council planning office at an early stage in preparing your application to ensure that you use the appropriate terminology and provide the required details.

How do planning schemes affect proposals?

A planning scheme sets out policies and requirements for the use, development and protection of land. There is a planning scheme for every municipality in Victoria. Development of land includes the construction of a building, carrying out works, subdividing land or buildings and displaying signs.

Proposals must comply with the planning scheme provisions in accordance with Clause 61.05 of the planning scheme. Provisions may relate to the State Planning Policy Framework, the Local Planning Policy Framework, zones, overlays, particular and general provisions. You can access the planning scheme by either contacting Council's planning department or by visiting the Planning Schemes Online section of the department's website <http://planning-schemes.delwp.vic.gov.au>.

 You can obtain a planning certificate to establish planning scheme details about your property. A planning certificate identifies the zones and overlays that apply to the land, but it does not identify all of the provisions of the planning scheme that may be relevant to your application. Planning certificates for land in metropolitan areas and most rural areas can be obtained by visiting www.landata.vic.gov.au. Contact your local Council to obtain a planning certificate in Central Goldfields, Corangamite, Macedon Ranges and Greater Geelong. You can also use the free Planning Property Report to obtain the same information.

See **Example 2**.


Estimated cost of development

In most instances an application fee will be required. This fee must be paid when you lodge the application. The fee is set down by government regulations.

To help Council calculate the application fee, you must provide an accurate cost estimate of the proposed development. This cost does not include the costs of development that you could undertake without a permit or that are separate from the permit process. Development costs should be calculated at a normal industry rate for the type of construction you propose.

Council may ask you to justify your cost estimates. Costs are required solely to allow Council to calculate the permit application fee. Fees are exempt from GST.

 Costs for different types of development can be obtained from specialist publications such as Cordell Housing: Building Cost Guide or Rawlinsons: Australian Construction Handbook.

 Contact the Council to determine the appropriate fee. Go to planning.vic.gov.au to view a summary of fees in the Planning and Environment (Fees) Regulations.

Existing Conditions

How should land be described?

You need to describe, in general terms, the way the land is used now, including the activities, buildings, structures and works that exist (e.g. single dwelling, 24 dwellings in a three-storey building, medical centre with three practitioners and 8 car parking spaces, vacant building, vacant land, grazing land, bush block).

Please attach to your application a plan of the existing conditions of the land. Check with the local Council for the quantity, scale and level of detail required. It is also helpful to include photographs of the existing conditions.

See **Example 3**.

Title Information

What is an encumbrance?

An 'encumbrance' is a formal obligation on the land, with the most common type being a 'mortgage'. Other common examples of encumbrances include:

- **Restrictive Covenants:** A 'restrictive covenant' is a written agreement between owners of land restricting the use or development of the land for the benefit of others, (eg. a limit of one dwelling or limits on types of building materials to be used).
- **Section 173 Agreements:** A 'section 173 agreement' is a contract between an owner of the land and the Council which sets out limitations on the use or development of the land.
- **Easements:** An 'easement' gives rights to other parties to use the land or provide for services or access on, under or above the surface of the land.
- **Building Envelopes:** A 'building envelope' defines the development boundaries for the land.

Aside from mortgages, the above encumbrances can potentially limit or even prevent certain types of proposals.

What documents should I check to find encumbrances?

Encumbrances are identified on the title (register search statement) under the header 'encumbrances, caveats and notices'. The actual details of an encumbrance are usually provided in a separate document (instrument) associated with the title. Sometimes encumbrances are also marked on the title diagram or plan, such as easements or building envelopes.

What about caveats and notices?


A 'caveat' is a record of a claim from a party to an interest in the land. Caveats are not normally relevant to planning applications as they typically relate to a purchaser, mortgagee or chargee claim, but can sometimes include claims to a covenant or easement on the land. These types of caveats may affect your proposal.

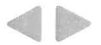
Other less common types of obligations may also be specified on title in the form of 'notices'. These may have an effect on your proposal, such as a notice that the building on the land is listed on the Heritage Register.

What happens if the proposal contravenes an encumbrance on title?

Encumbrances may affect or limit your proposal or prevent it from proceeding. Section 61(4) of the *Planning and Environment Act 1987* for example, prevents a Council from granting a permit if it would result in a breach of a registered restrictive covenant. If the proposal contravenes any encumbrance, contact the Council for advice on how to proceed.

You may be able to modify your proposal to respond to the issue. If not, separate procedures exist to change or remove the various types of encumbrances from the title. The procedures are generally quite involved and if the encumbrance relates to more than the subject property, the process will include notice to the affected party.

 You should seek advice from an appropriately qualified person, such as a solicitor, if you need to interpret the effect of an encumbrance or if you seek to amend or remove an encumbrance.



Why is title information required?

Title information confirms the location and dimensions of the land specified in the planning application and any obligations affecting what can be done on or with the land.

As well as describing the land, a full copy of the title will include a diagram or plan of the land and will identify any encumbrances, caveats and notices.

What is a 'full' copy of the title?

The title information accompanying your application must include a 'register search statement' and the title diagram, which together make up the title.

In addition, any relevant associated title documents, known as 'instruments', must also be provided to make up a full copy of the title.

Check the title to see if any of the types of encumbrances, such as a restrictive covenant, section 173 agreement, easement or building envelope, are listed. If so, you must submit a copy of the document (instrument) describing that encumbrance. Mortgages do not need to be provided with planning applications.

Some titles have not yet been converted by Land Registry into an electronic register search statement format. In these earlier types of titles, the diagram and encumbrances are often detailed on the actual title, rather than in separate plans or instruments.

Why is 'current' title information required?

It is important that you attach a current copy of the title for each individual parcel of land forming the subject site. 'Current' title information accurately provides all relevant and up-to-date information.

Some Councils require that title information must have been searched within a specified time frame. Contact the Council for advice on their requirements.

Copies of title documents can be obtained from Land Registry: Level 10, 570 Bourke Street, Melbourne; 03 8636 2010; www.landata.vic.gov.au – go direct to "titles & property certificates".

Applicant and Owner Details

This section provides information about the permit applicant, the owner of the land and the person who should be contacted about any matters concerning the permit application.

The applicant is the person or organisation that wants the permit. The applicant can, but need not, be the contact person.

In order to avoid any confusion, the Council will communicate only with the person who is also responsible for providing further details. The contact may be a professional adviser (e.g. architect or planner) engaged to prepare or manage the application. To ensure prompt communications, contact details should be given.

Check with council how they prefer to communicate with you about the application. If an email address is provided this may be the preferred method of communication between Council and the applicant/contact.

The owner of the land is the person or organisation who owns the land at the time the application is made. Where a parcel of land has been sold and an application made prior to settlement, the owner's details should be identified as those of the vendor. The owner can, but need not, be the contact or the applicant.

See **Example 4**.

Declaration

The declaration should be signed by the person who takes responsibility for the accuracy of all the information that is provided. This declaration is a signed statement that the information included with the application is true and correct at the time of lodgement.

The declaration can be signed by the applicant or owner. If the owner is not the applicant, the owner must either sign the application form or must be notified of the application which is acknowledged in the declaration.

Obtaining or attempting to obtain a permit by wilfully making or causing any false representation or declaration, either orally or in writing, is an offence under the *Planning and Environment Act 1987* and could result in a fine and/or cancellation of the permit.

Need help with the Application?

If you have attended a pre-application meeting with a Council planner, fill in the name of the planner and the date, so that the person can be consulted about the application once it has been lodged.

Checklist

What additional information should you provide to support the proposal?

You should provide sufficient supporting material with the application to describe the proposal in enough detail for the Council to make a decision. It is important that copies of all plans and information submitted with the application are legible.

There may be specific application requirements set out in the planning scheme for the use or development you propose. The application should demonstrate how these have been addressed or met.

The checklist is to help ensure that you have:

- provided all the required information on the form
- included payment of the application fee
- attached all necessary supporting information and documents
- completed the relevant Council planning permit checklist
- signed the declaration on the last page of the application form

The more complete the information you provide with your permit application, the sooner Council will be able to make a decision.

Lodgement

The application must be lodged with the Council responsible for the planning scheme in which the land affected by the application is located. In some cases the Minister for Planning or another body is the responsible authority instead of Council. Ask the Council if in doubt.

Check with Council how they prefer to have the application lodged. For example, they may have an online lodgement system, prefer email or want an electronic and hard copy. Check also how many copies of plans and the size of plans that may be required.

Contact details are listed in the lodgement section on the last page of the form.

Approval from other authorities: In addition to obtaining a planning permit, approvals or exemptions may be required from other authorities or Council departments. Depending on the nature of your proposal, these may include food or health registrations, building permits or approvals from water and other service authorities.

EXAMPLES

Example 1

The Land		
Address of the land. Complete the Street Address and one of the Formal Land Descriptions.		
Street Address *		
Unit No.: 4	St. No.: 26	St. Name: Planmore Avenue
Suburb/Locality: HAWTHORN		Postcode: 3122
Formal Land Description * Complete either A or B.		
This information can be found on the certificate of title.		
If this application relates to more than one address, attach a separate sheet setting out any additional property details.		
A Lot No.: 2 <input type="radio"/> Lodged Plan <input type="radio"/> Title Plan <input checked="" type="radio"/> Plan of Subdivision No.: LP93562		
OR		
B Crown Allotment No.: <input type="text"/>		Section No.: <input type="text"/>
Parish/Township Name: <input type="text"/>		

Example 2

For what use, development or other matter do you require a permit? *	<div>Construction of two, double-storey dwellings and construction of two new crossovers.</div> <div><input checked="" type="checkbox"/> Provide additional information about the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.</div>
-----------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

Example 3

Existing Conditions	
Describe how the land is used and developed now * For example, vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.	<div>Single dwelling.</div> <div><input checked="" type="checkbox"/> Provide a plan of the existing conditions. Photos are also helpful.</div>

Example 4

Applicant and Owner Details	
Provide details of the applicant and the owner of the land.	
Applicant * The person who wants the permit.	<div>Name: Title: Mr First Name: Len Surname: Browning</div> <div>Organisation (if applicable): Responsible Developers P/L</div> <div>Postal Address: If it is a P.O. Box, enter the details here: Unit No.: 4 St. No.: 12 St. Name: Ardour Lane</div> <div>Suburb/Locality: Wycheproof State: Vic Postcode: 3527</div>
Please provide at least one contact phone number *	<div>Contact information for applicant OR contact person below</div> <div>Business phone: 9123 4567 Email: tcp1@bigpond.net.au</div> <div>Mobile phone: 0412 345 678 Fax: 9123 4567</div>
Where the preferred contact person for the application is different from the applicant, provide the details of that person.	<div>Contact person's details * Same as applicant <input type="checkbox"/></div> <div>Name: Title: Mr First Name: Andrew Surname: Hodge</div> <div>Organisation (if applicable): Town Planning Consultants</div> <div>Postal Address: If it is a P.O. Box, enter the details here: Unit No.: <input type="text"/> St. No.: <input type="text"/> St. Name: PO Box 111</div> <div>Suburb/Locality: Parkdale State: Vic Postcode: 3194</div>
Owner * The person or organisation who owns the land	<div>Name: Same as applicant <input checked="" type="checkbox"/></div> <div>Title: <input type="text"/> First Name: <input type="text"/> Surname: <input type="text"/></div> <div>Organisation (if applicable): <input type="text"/></div> <div>Postal Address: If it is a P.O. Box, enter the details here: Unit No.: <input type="text"/> St. No.: <input type="text"/> St. Name: <input type="text"/></div> <div>Suburb/Locality: <input type="text"/> State: <input type="text"/> Postcode: <input type="text"/></div> <div>Owner's Signature (Optional): <input type="text"/> Date: <input type="text"/></div> <div>day / month / year</div>

CLAUSE 55 REPORT

Version 2 -13/11/2023

FIVE DWELLING DEVELOPMENT

Client: Beyond Housing
Site Address: Lot 10, No. 17 Mary Street,
Benalla VIC 3672.

REPORT CONTENTS

TP01 - Index Page

Existing Conditions - Part A

TP02 - Town and Area Map
TP03 - Photos
TP04 - Site Context Plan

Design Solutions - Part B

TP05 - Design Response Plan
TP06 - 9am Overshadowing Diagram
TP07 - 12pm Overshadowing Diagram
TP08 - 3pm Overshadowing Diagram
TP09 - Overlooking Diagram
TP10 - Streetscapes
TP11 - Elevations
TP12 - Elevations
TP13 - Elevations
TP14 - Turning Circles
TP15 - Landscape Plan & Garden Areas



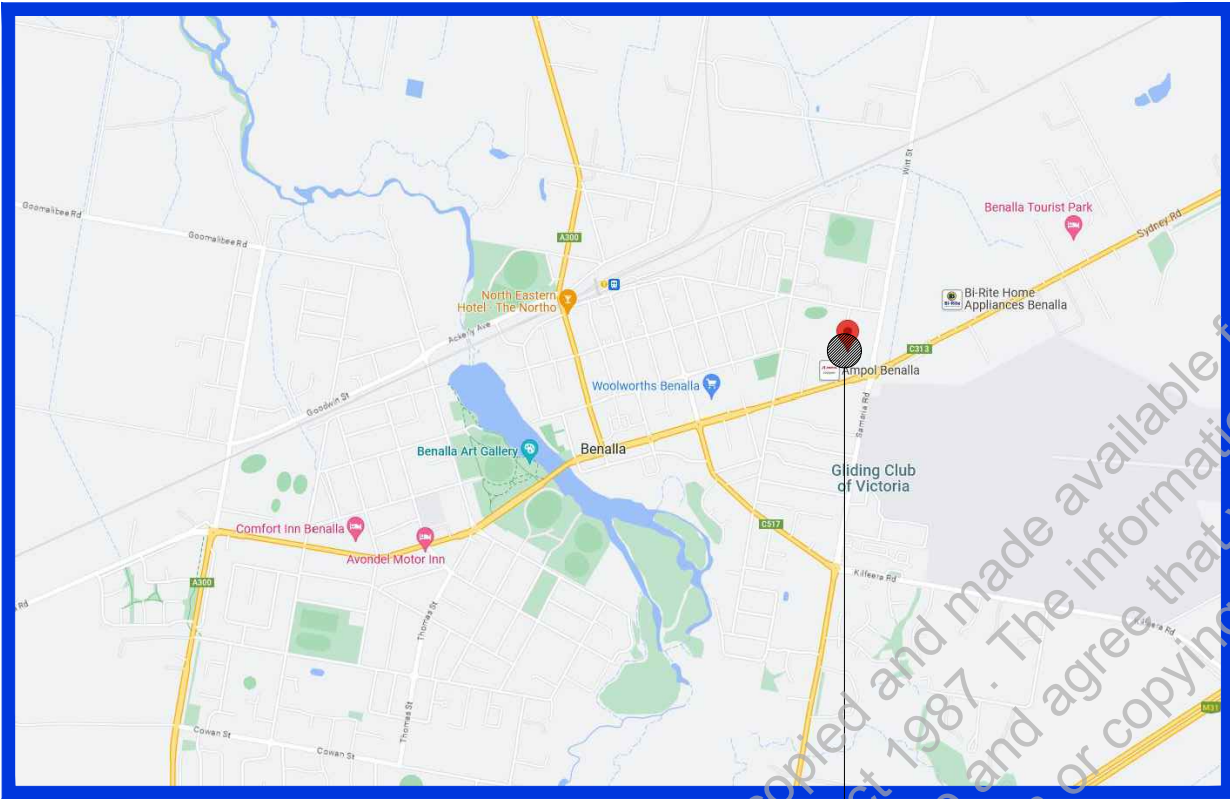
BRUCE MACTIER
BUILDING DESIGNERS

WE BUILD ON YOUR IDEAS
Level 2, 4 Welsford Street
Shepparton 3630
11-13 Sydney Street
Kilmore 3764

Telephone (03) 5822 1255
Email admin@brucemactier.com
Web www.brucemactier.com.au

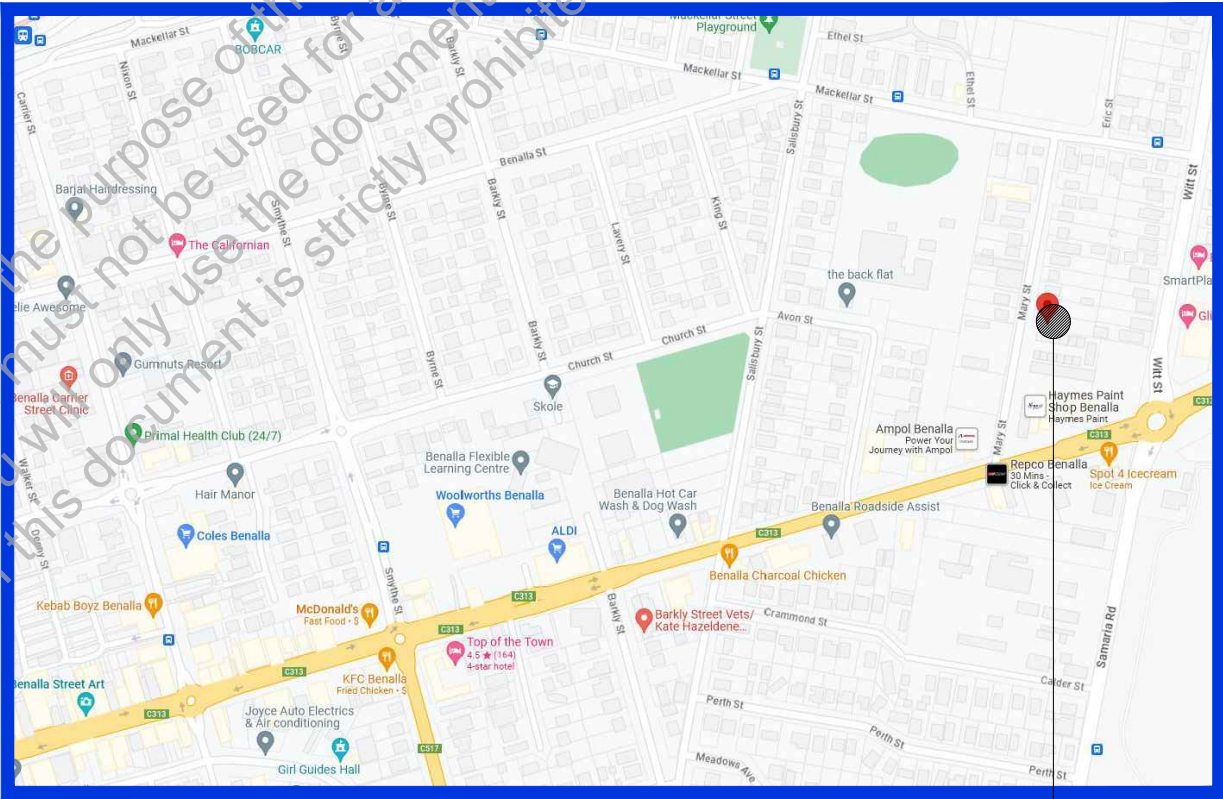
EXISTING CONDITIONS - PART A

Town and Area Map



Site Location

Town Map



Site Location

Area Map

Town & Area Map

Version 2 -13/11/2023
Drawing Status
Preliminary Not
For Construction

CLIENT
Beyond Housing

PROJECT
Proposed Five Dwelling
Development
Lot 10, 17 Mary Street,
Benalla VIC 3672.

DRAWN
B. Saunders

DESIGN
Client/MM

CHECKED
B. Mactier

SCALE
N/A @ A3 Sheet

Print in Colour

REGISTRATION NUMBERS
VIC CDP-AD 56576

SHEET NUMBER
TP2 of 15

JOB NUMBER
25162



Bruce Mactier & Associates P/L trading as



BRUCE MACTIER
BUILDING DESIGNERS
WE BUILD ON YOUR IDEAS

Level 2, 4 Welsford St, Shepparton
11-13 Sydney St, Kilmore
(03) 58 221 255
admin@brucemactier.com
www.brucemactier.com.au

Photo Description



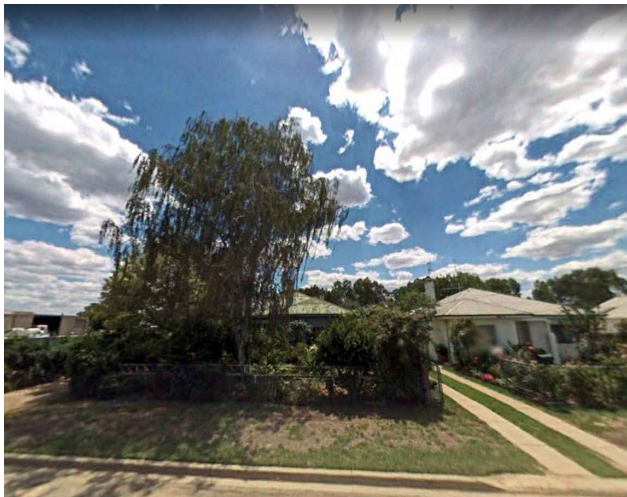
Front of subject site, No. 17 Mary Street.



Looking North along Mary Street from front of subject site.



Looking South along Mary Street from front of subject site.



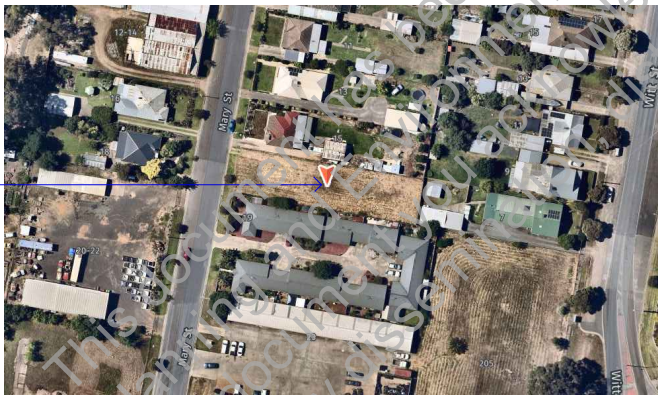
Looking West across Mary Street from front of subject site.



Neighbouring properties to the North - No. 15 Mary Street.



Neighbouring properties to the South - No. 19 Mary Street.



Aerial view of neighbourhood.

Site Location

Photos

Version 2 -13/11/2023
Drawing Status
Preliminary Not
For Construction

CLIENT
Beyond Housing

PROJECT
Proposed Five Dwelling
Development
Lot 10, 17 Mary Street,
Benalla VIC 3672.

DRAWN
B. Saunders

DESIGN
Client/MM

CHECKED
B. Mactier

SCALE
N/A @ A3 Sheet

Print in Colour

REGISTRATION NUMBERS
VIC CDP-AD 56576

SHEET NUMBER
TP3 of 15

JOB NUMBER
25162

Bruce Mactier & Associates P/L trading as



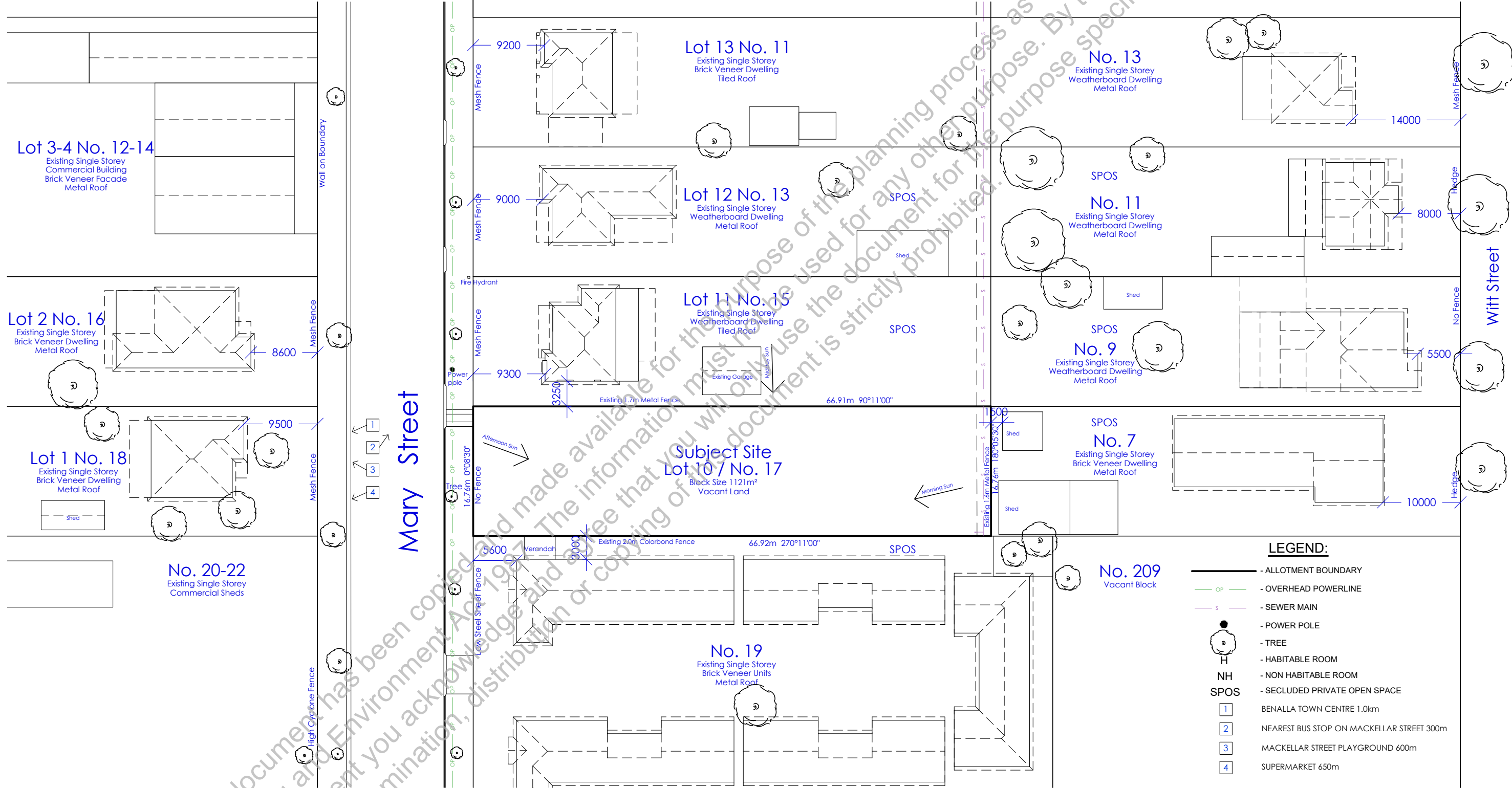
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WE BUILD ON YOUR IDEAS

Level 2, 4 Welsford St, Shepparton
11-13 Sydney St, Kilmore
(03) 58 221 255
admin@brucemactier.com
www.brucemactier.com.au

SITE CONTEXT PLAN

NEIGHBOURHOOD SITE DESCRIPTION

The homes in the area are predominantly older style weatherboard clad or brick veneer dwellings with metal roofs. They are predominantly single storey and roof shapes are either gable or hipped with eaves.



Version
Version 2 -13/11/2023
Drawing Status
**Preliminary Not
For Construction**
Site Context Plan

CLIENT
Beyond Housing

PROJECT
Multi-Residential
Development.
Lot 10 No. 17 Mary Street,
Benalla Vic 3672

SCALE
1:500 @ A3 Sheet

North

DRAWN
B. Saunders

DESIGNED
Client/MM

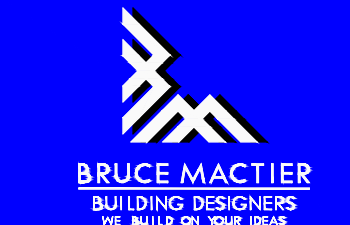
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REGISTRATION NUMBERS
VIC CDP-AD56576

SHEET NO.
TP4 of 15

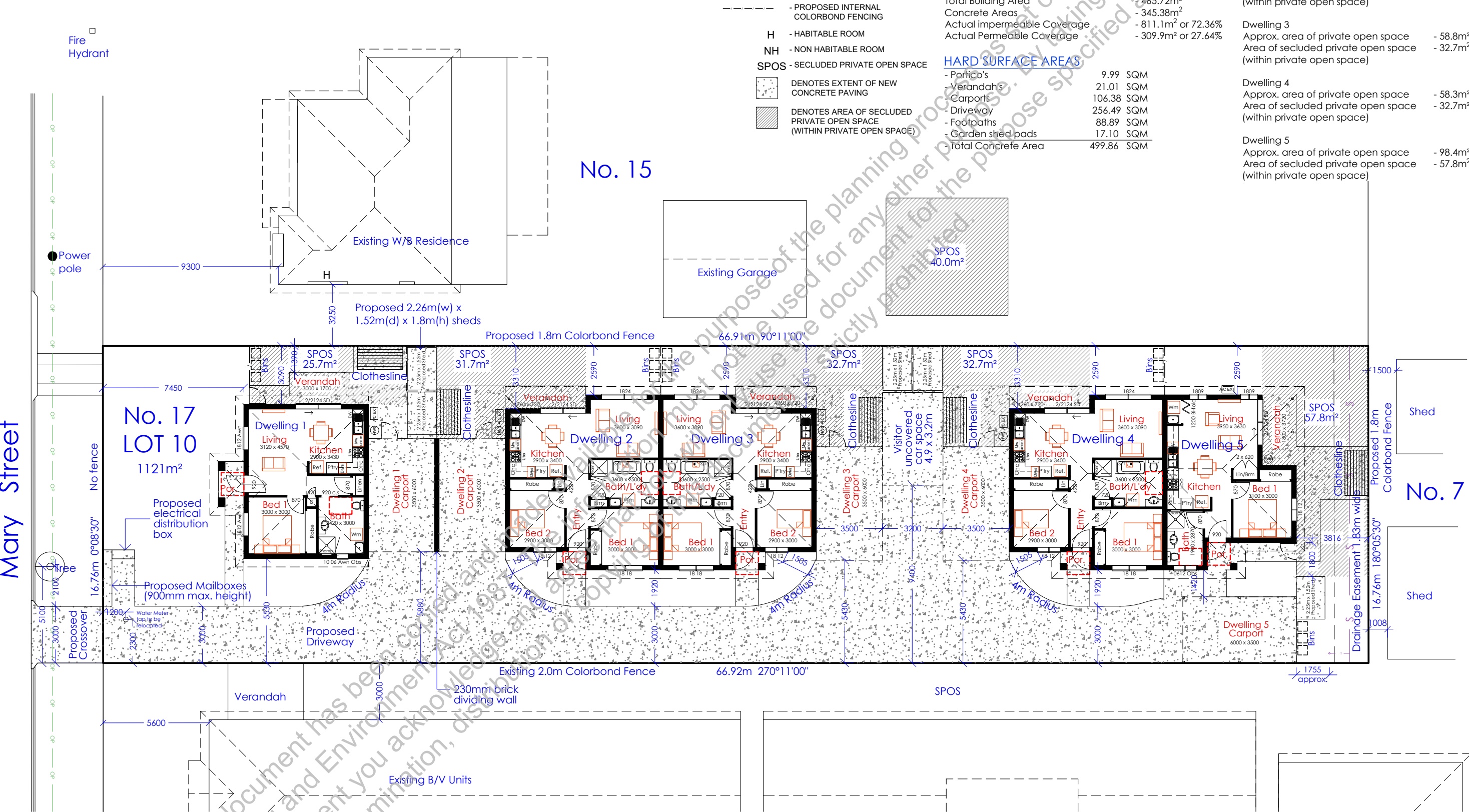
JOB NO.
25162

Level 2, 4 Welsford St, Shepparton
11-13 Sydney St, Kilmore
(03) 58 221 255
admin@brucemactier.com
www.brucemactier.com.au



DESIGN SOLUTIONS - PART B

DESIGN RESPONSE PLAN



Version
Version 2 -13/11/2023
Drawing Status
Preliminary Not
For Construction
Design Response

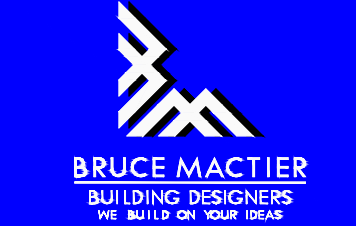
GENERAL
All dimensions, site and soil conditions to be verified on site, by builder prior to ordering or placing any materials.
All work shall conform to the National Construction Code of Australia.
Do Not scale drawings.
This drawing is Copyright.

CLIENT
Beyond Housing
PROJECT
Multi-Residential Development.
Lot 10 No. 17 Mary Street,
Benalla Vic 3672

SCALE
1:200 @ A3 Sheet
1:200 2m 4m 6m 8m
North

DRAWN
B. Saunders
DESIGNED
Client/MM
Checked
B.Mactier
REGISTRATION NUMBERS
VIC CDP-AD56576
SHEET NO.
TP5 of 15
JOB NO.
25162

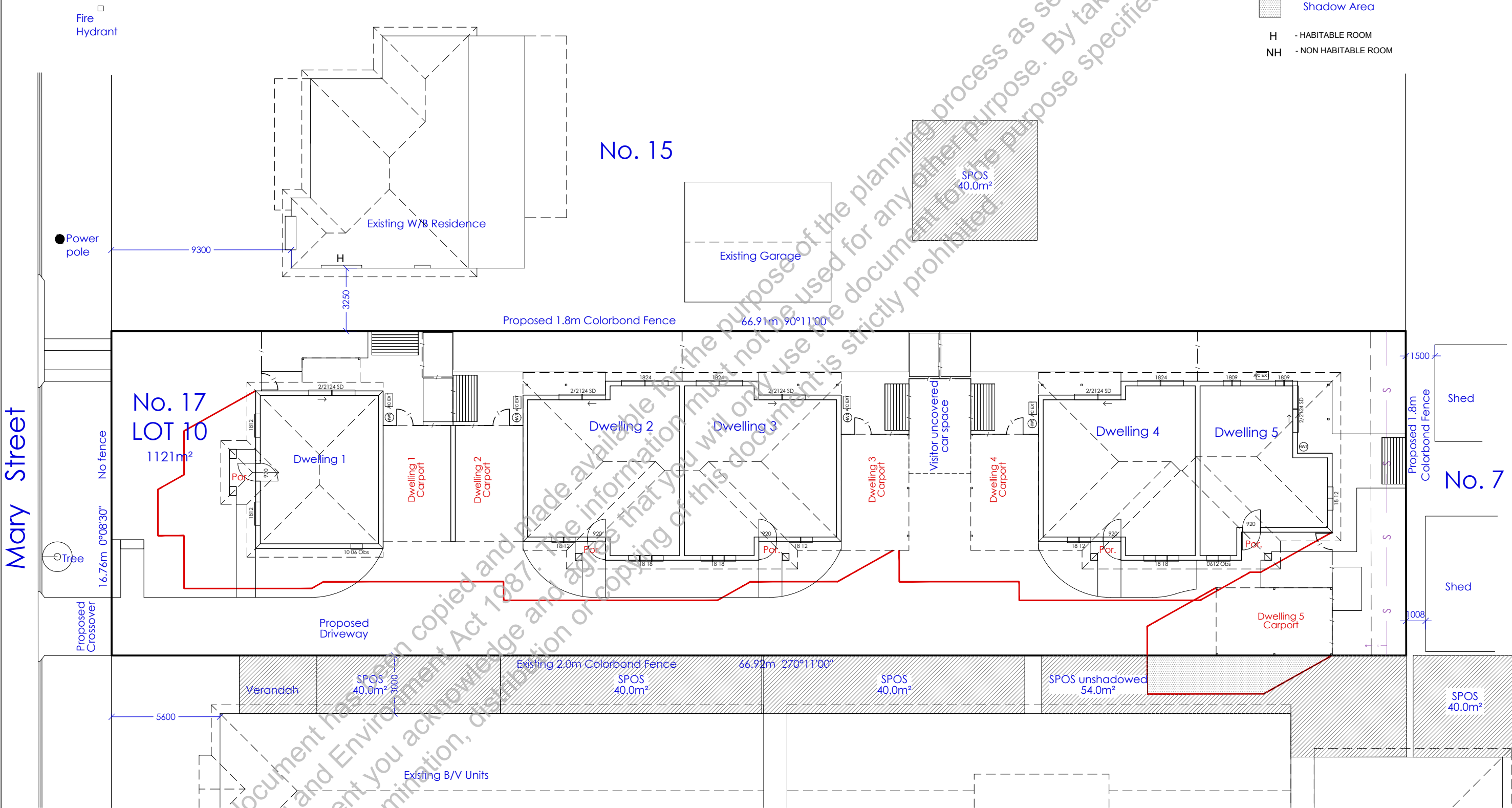
Level 2, 4 Welsford St, Shepparton
11-13 Sydney St, Kilmore
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9am OVERSHADOWING DIAGRAM

LEGEND

- 9am Shadowline
- Proposed 1.8m high Colorbond Fence
- Denotes area of Secluded Private Open Space (within Private Open Space)
- Shadow Area
- H - HABITABLE ROOM
- NH - NON HABITABLE ROOM



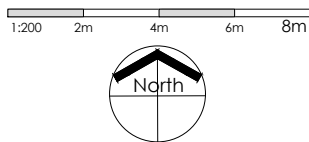
Version
Version 2 -13/11/2023
Drawing Status
Preliminary Not
For Construction

9am Shadow Dia.

CLIENT
Beyond Housing

PROJECT
Multi-Residential
Development.
Lot 10 No. 17 Mary Street,
Benalla Vic 3672

SCALE
1:200 @ A3 Sheet



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B. Saunders

DESIGNED
Client/MM

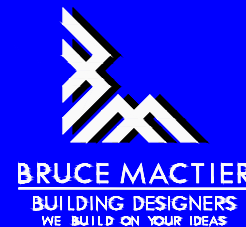
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B.Mactier

REGISTRATION NUMBERS
VIC CDP-AD56576

SHEET NO.
TP6 of 15

JOB NO.
25162

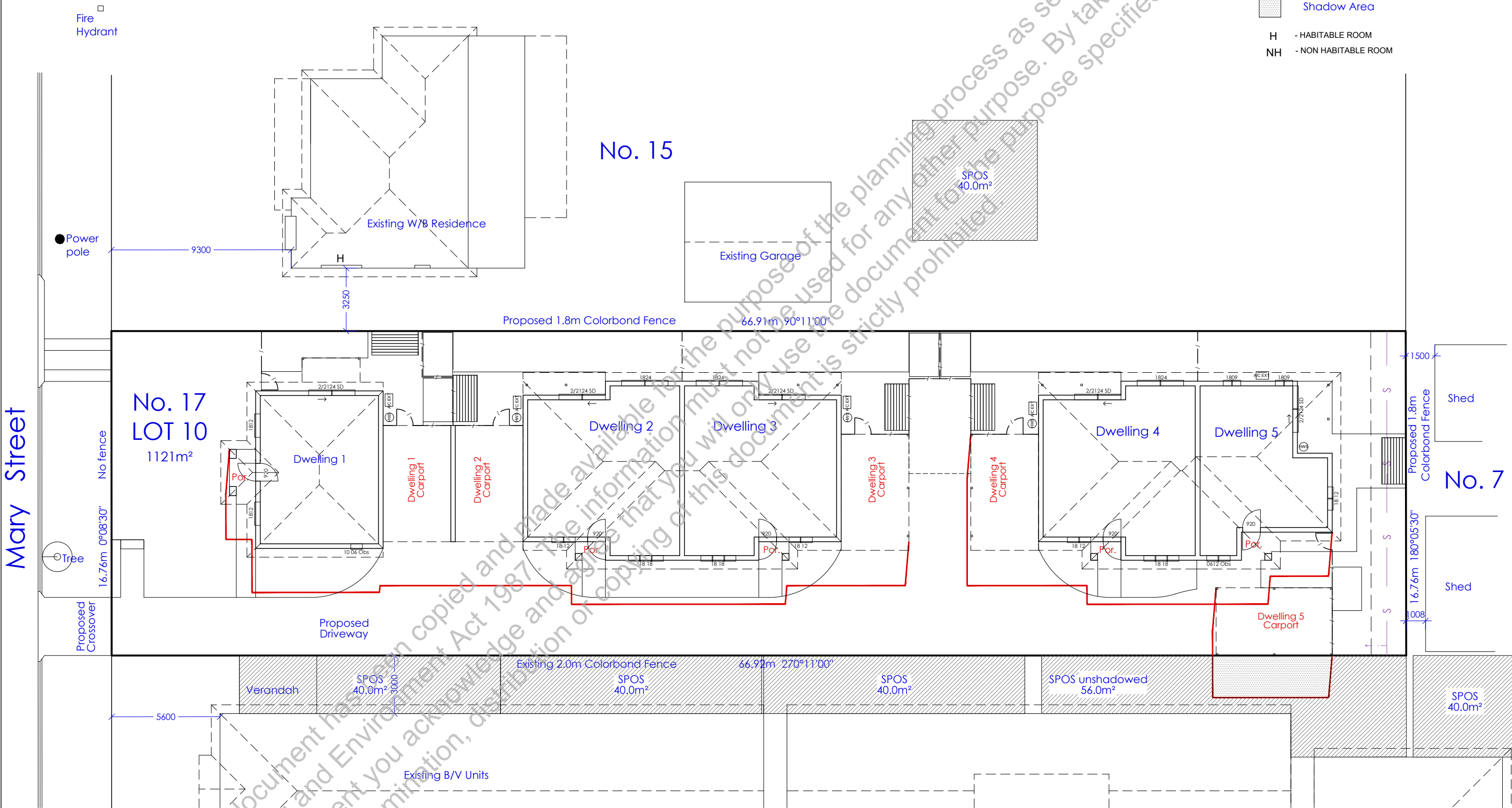
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12pm OVERSHADOWING DIAGRAM

LEGEND

- 12pm Shadowline
- Proposed 1.8m high Colorbond Fence
- Denotes area of Secluded Private Open Space (within Private Open Space)
- Shadow Area
- H - HABITABLE ROOM
- NH - NON HABITABLE ROOM



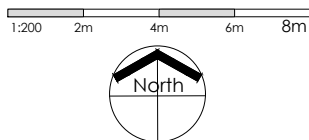
Version
Version 2 -13/11/2023
Drawing Status
Preliminary Not
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12pm Shadow Dia

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PROJECT
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Lot 10 No. 17 Mary Street,
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SCALE
1:200 @ A3 Sheet



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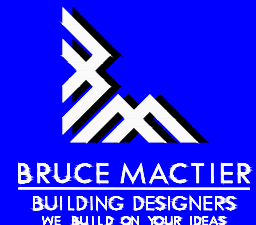
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REGISTRATION NUMBERS
VIC CDP-AD56576

SHEET NO.
TP7 of 15

JOB NO.
25162

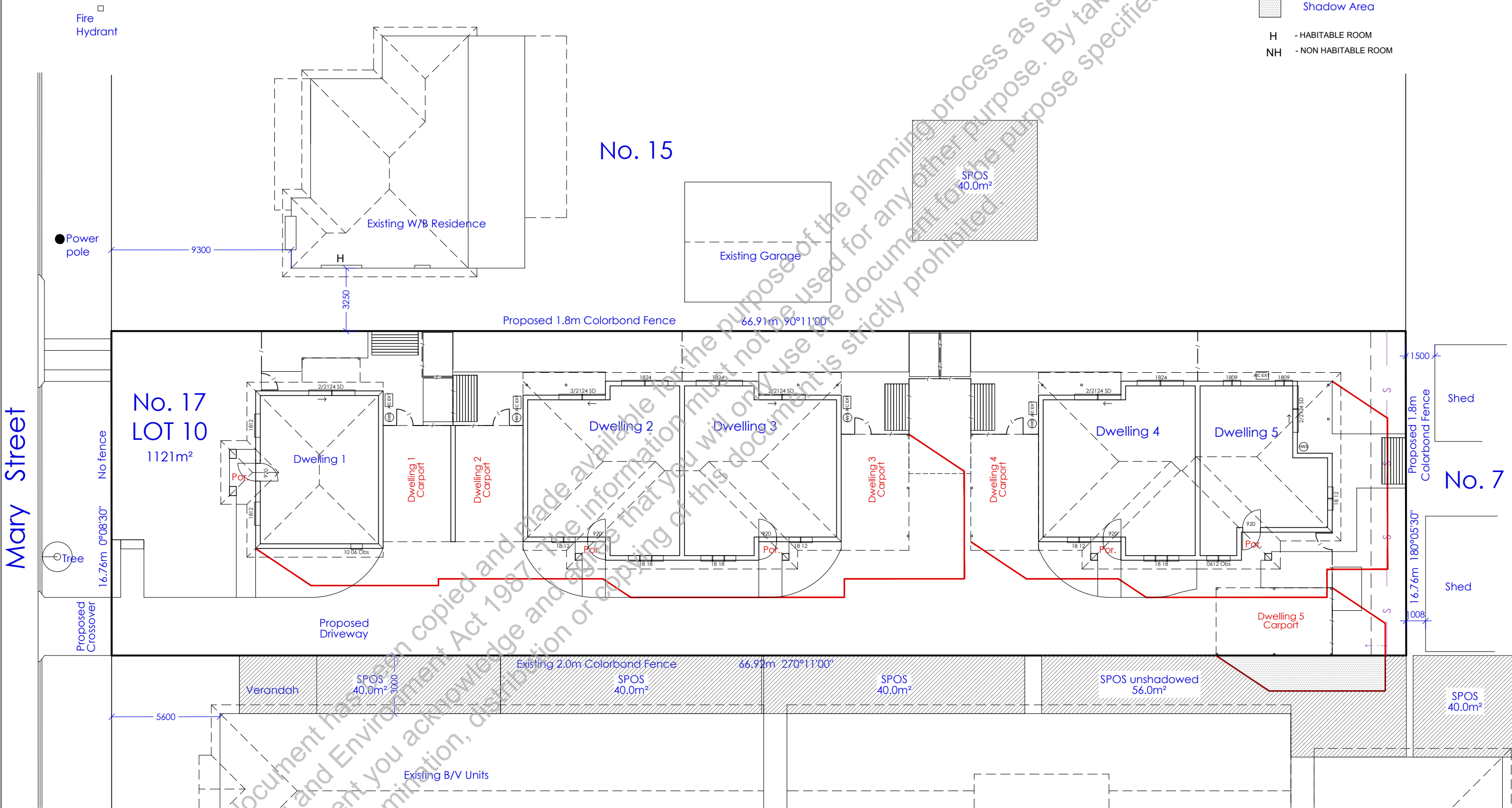
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3pm OVERSHADOWING DIAGRAM

LEGEND

- 3pm Shadowline
- Proposed 1.8m high Colorbond Fence
- Denotes area of Secluded Private Open Space (within Private Open Space)
- Shadow Area
- H - HABITABLE ROOM
- NH - NON HABITABLE ROOM



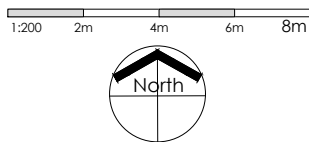
Version
Version 2 -13/11/2023
Drawing Status
Preliminary Not
For Construction

3pm Shadow Dia.

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Development.
Lot 10 No. 17 Mary Street,
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SCALE
1:200 @ A3 Sheet



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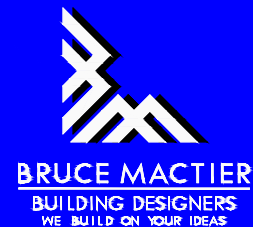
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OVERLOOKING DIAGRAM

Overlooking is not applicable to the habitable room window of the adjoining allotment due to the 1.8m high minimum boundary fence and the finished floor level of the proposed dwelling being less than 800mm above natural ground level at the boundary.

Proposed 1.8m high fence

LEGEND

-  Overlooking area protected by existing or proposed boundary fencing
-  Proposed 1.8m high Colorbond Fence
-  Denotes area of Secluded Private Open Space (within Private Open Space)
- H - HABITABLE ROOM
- NH - NON HABITABLE ROOM

Note: Overlooking is not applicable due to the 1.8m high minimum boundary fences and the finished floor level of all proposed dwellings being less than 800mm above natural ground level at the boundary.

OVERLOOKING DETAIL A - A

No. 15

SPOS 40.0m²

Existing W/B Residence

Existing Garage

Proposed 1.8m Colorbond Fence

66.91m 90°11'00"

No. 17
LOT 10
1121m²

Dwelling 1

Dwelling 2

Dwelling 3

Dwelling 4

Dwelling 5

Shed

No. 7

Shed

Proposed Driveway

Existing 2.0m Colorbond Fence

66.92m 270°11'00"

SPOS

Verandah

Existing B/V Units

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Overlooking Plan

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SCALE
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1:200 2m 4m 6m 8m



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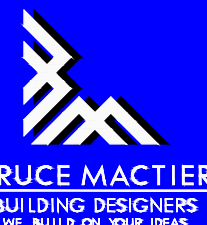
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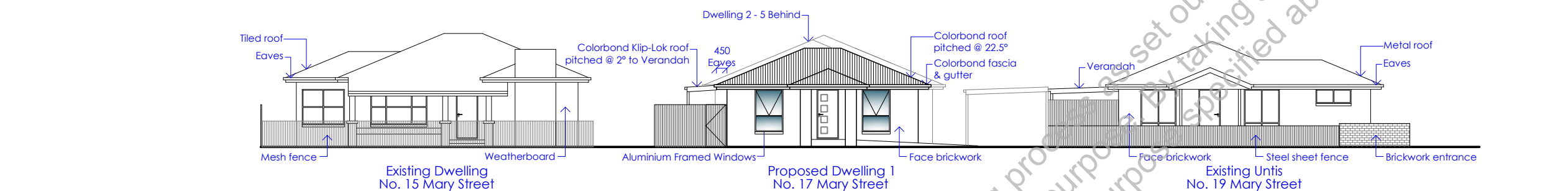
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SHEET NO.
TP9 of 15

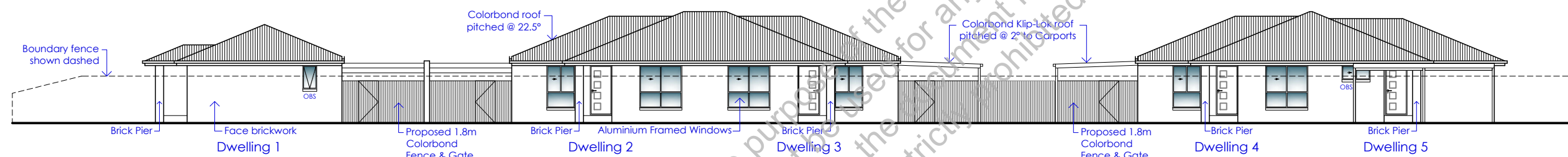
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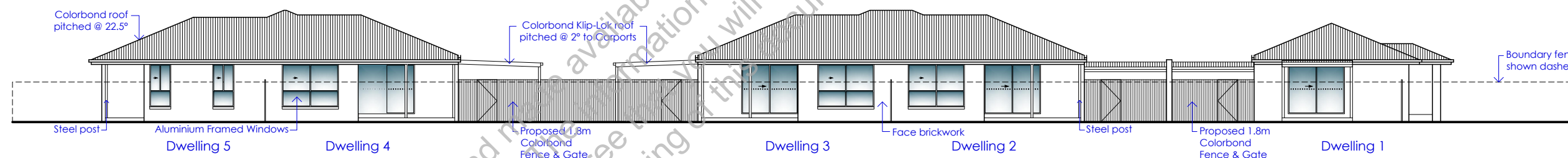




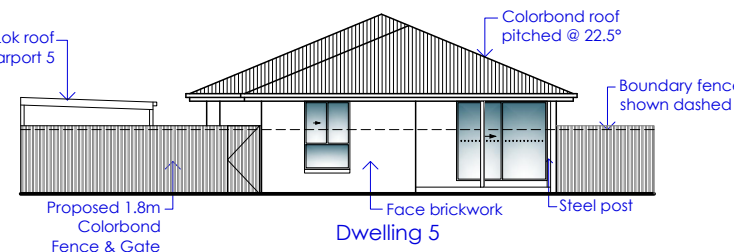
MARY STREET STREETSCAPE



VIEW FROM SOUTH ADJOINING NEIGHBOUR



VIEW FROM NORTH ADJOINING NEIGHBOUR



VIEW FROM EAST REAR NEIGHBOUR

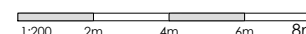
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Streetscape

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Development.
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SCALE
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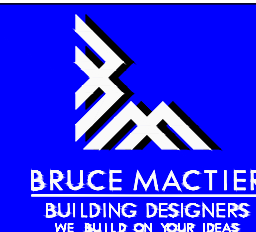
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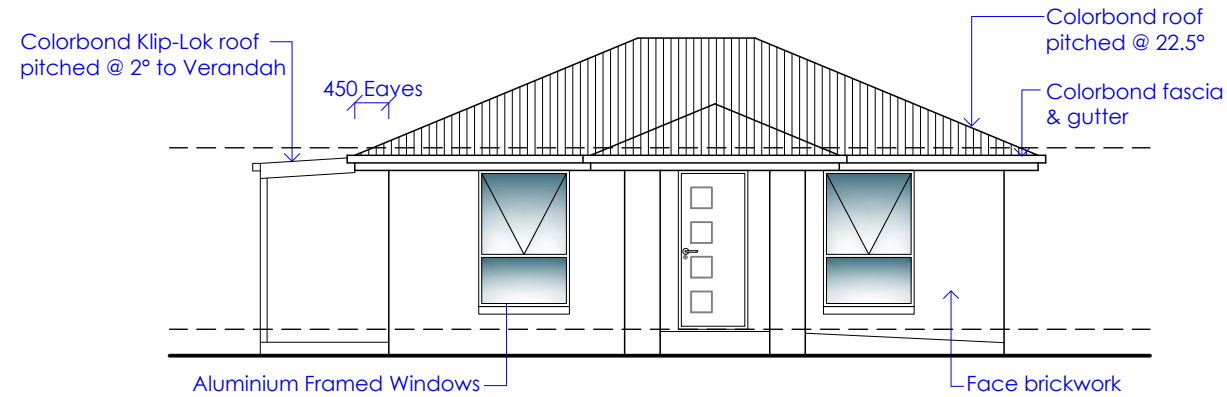
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TP10 of 15

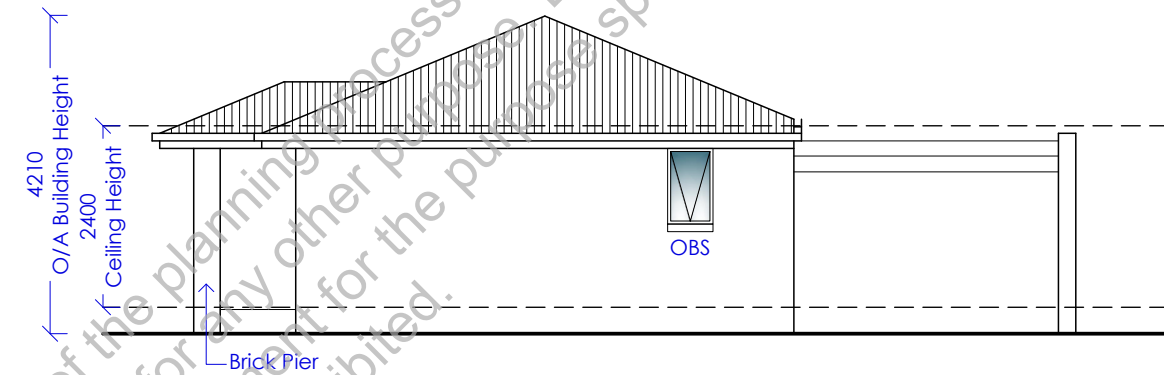
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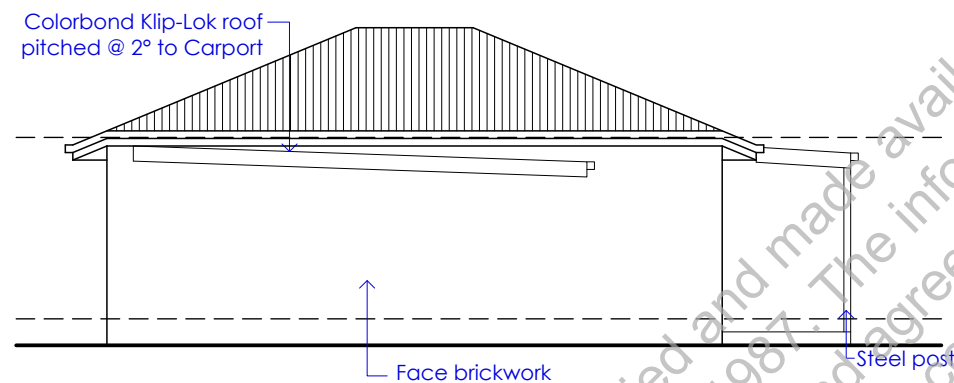




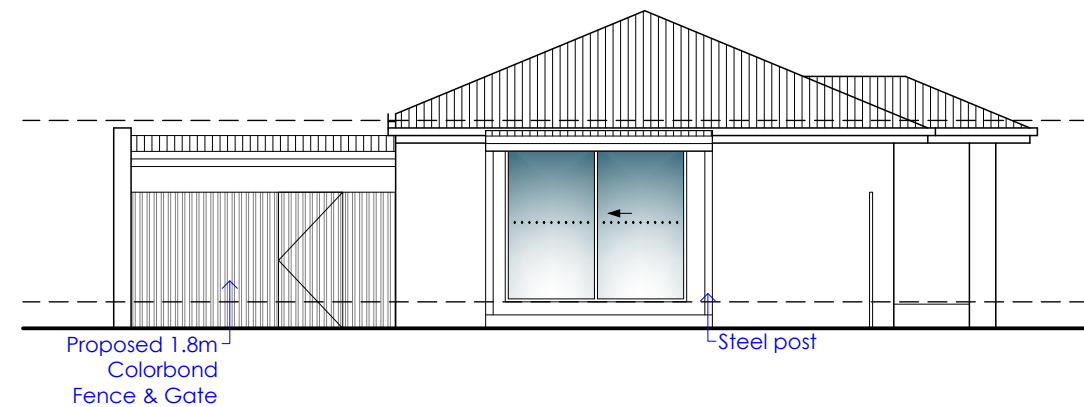
UNIT 1 - WEST ELEVATION



UNIT 1 - SOUTH ELEVATION



UNIT 1 - EAST ELEVATION



UNIT 1 - NORTH ELEVATION

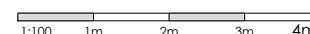
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Elevations

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Lot 10 No. 17 Mary Street,
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SCALE
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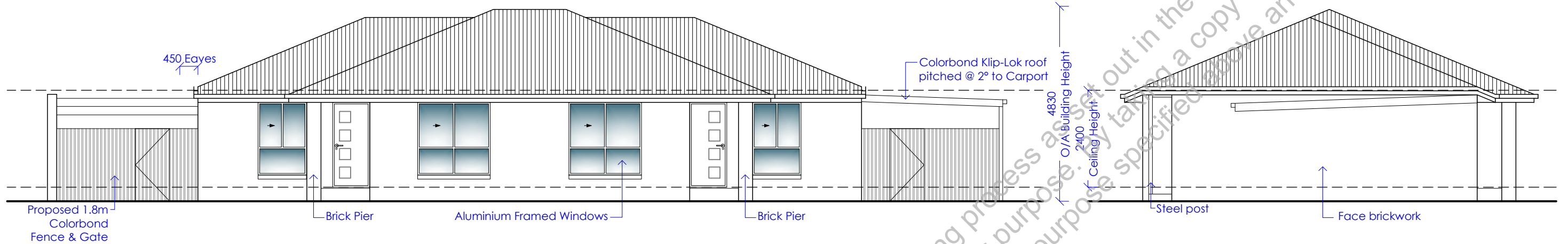
REGISTRATION NUMBERS
VIC CDP-AD56576

SHEET NO.
TP11 of 15

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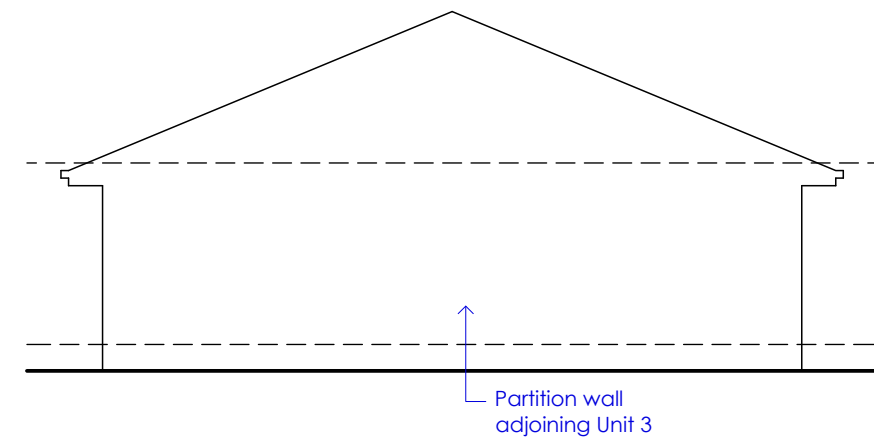
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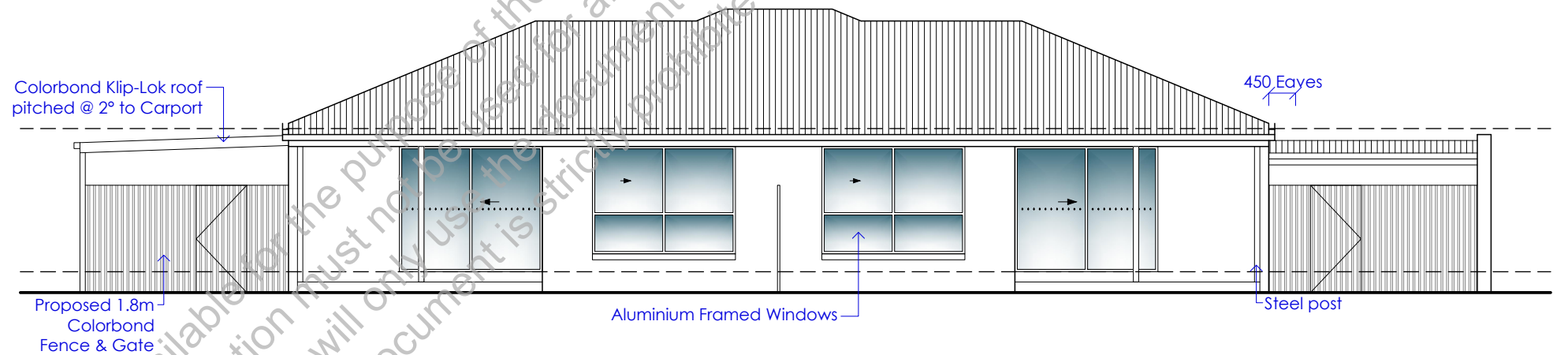


UNIT 2 & 3 - SOUTH ELEVATION

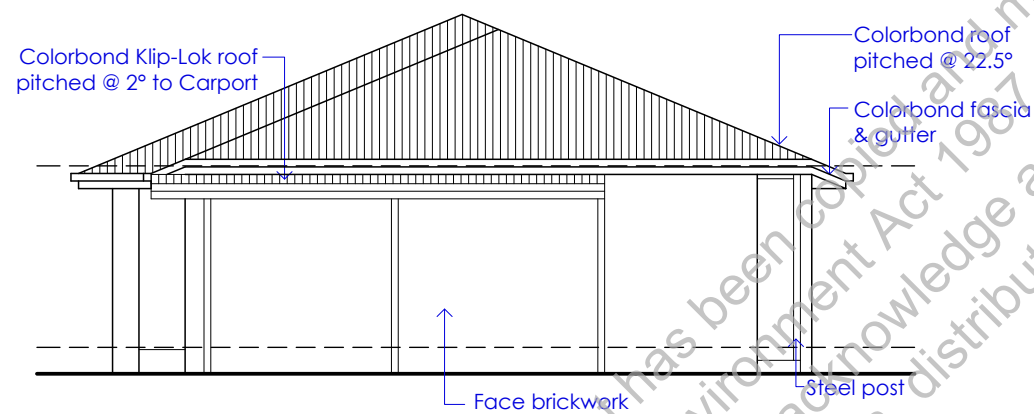
UNIT 2 - WEST ELEVATION



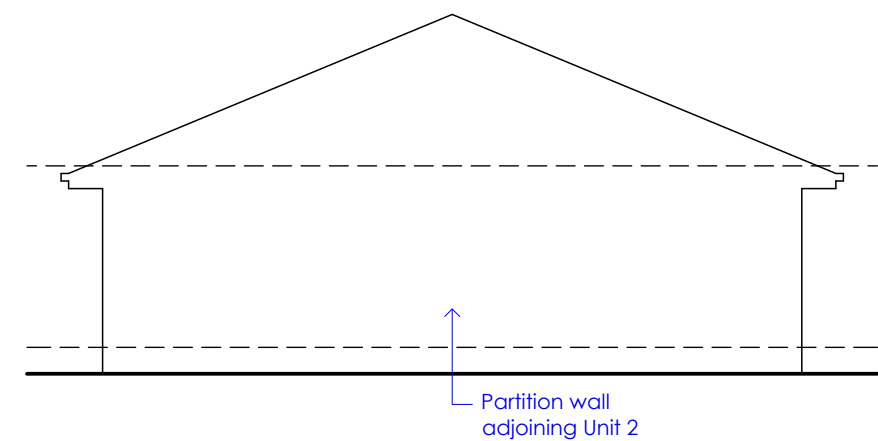
UNIT 2 - EAST ELEVATION



UNIT 2 & 3 - NORTH ELEVATION



UNIT 3 - EAST ELEVATION



UNIT 3 - WEST ELEVATION

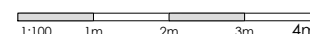
Version
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Elevations

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SCALE
1:100 @ A3 Sheet



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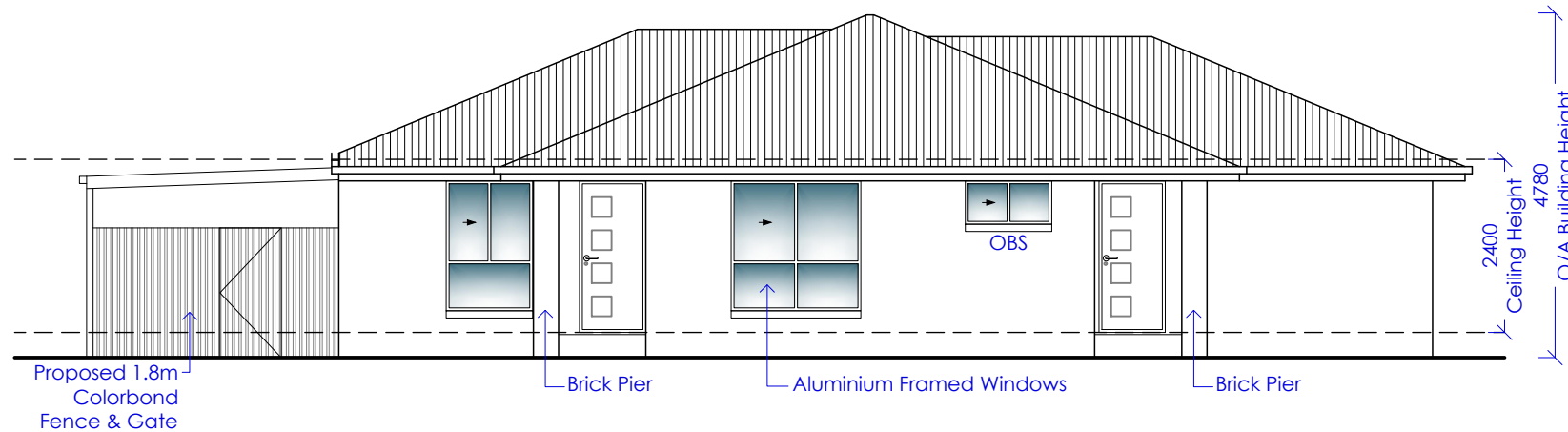
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SHEET NO.
TP12 of 15

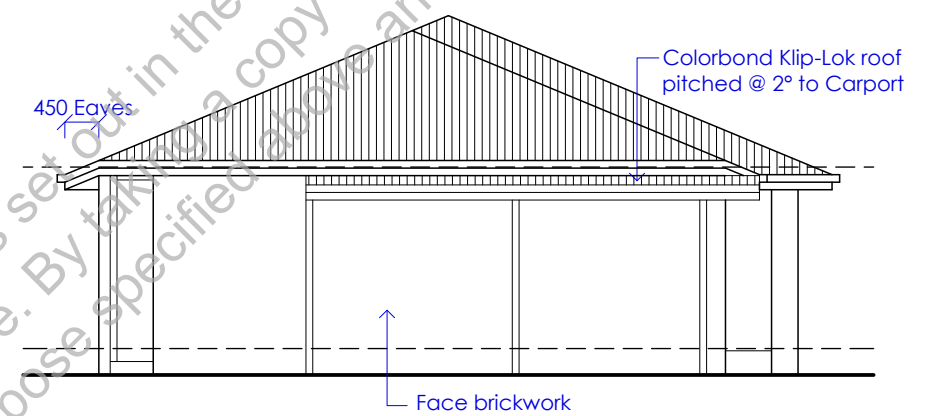
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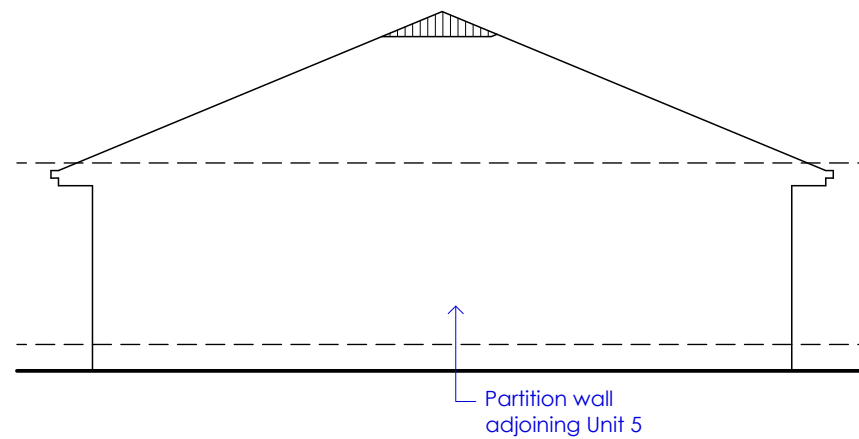




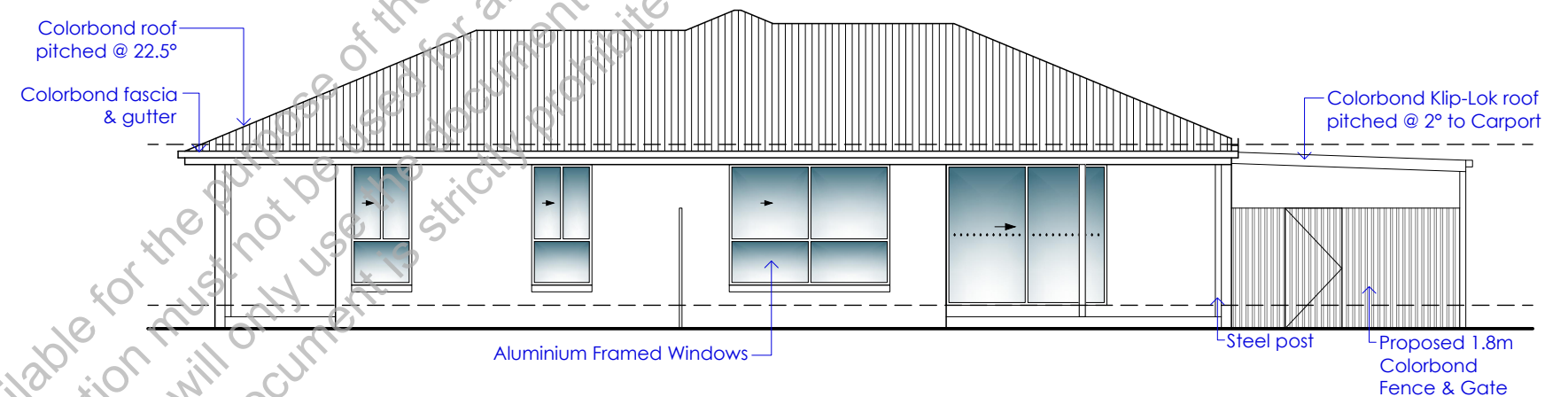
UNIT 4 & 5 - SOUTH ELEVATION



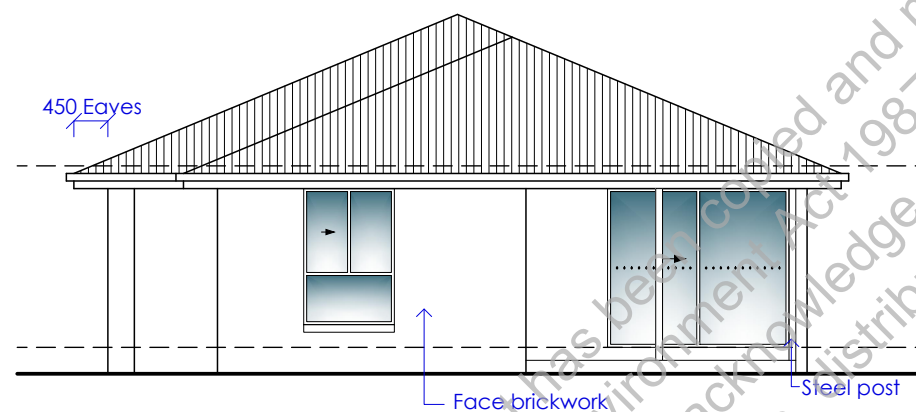
UNIT 4 - WEST ELEVATION



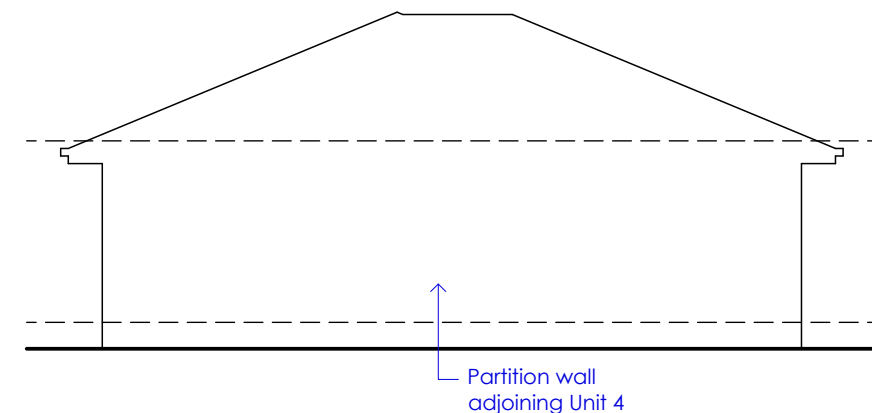
UNIT 4 - EAST ELEVATION



UNIT 4 & 5 - NORTH ELEVATION



UNIT 5 - EAST ELEVATION



UNIT 5 - WEST ELEVATION

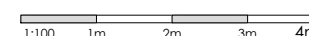
Version
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Elevations

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SCALE
1:100 @ A3 Sheet



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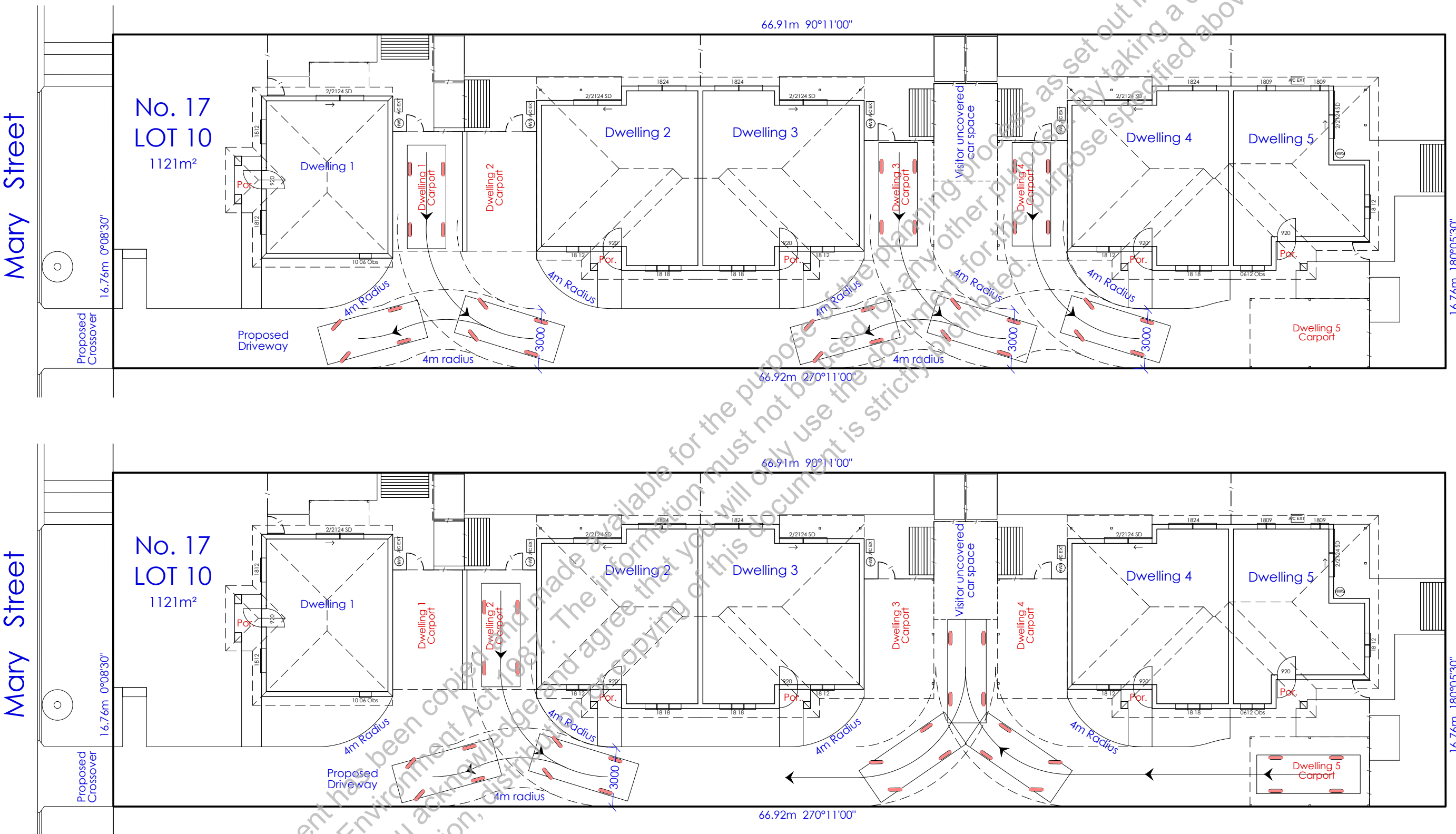
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VEHICLE TURNING CIRCLES



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Turning Circles

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SCALE
1:200 @ A3 Sheet

1:200 2m 4m 6m 8m

North

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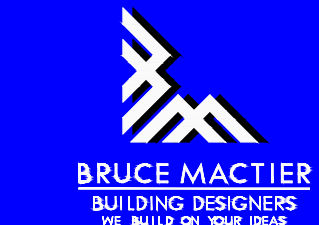
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TP14 of 15

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





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LANDSCAPE PLAN

GARDEN AREA

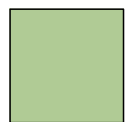
LEGEND

-  CONCRETE DRIVEWAY PAVING
- 20MPa 100mm SL72 MESH
-  CONCRETE FOOTPATH PAVING
- 20MPa 100mm SL72 MESH
-  INSTANT TURF
(SUITABLE TYPE)
-  GARDEN BEDS (APPROX.
100mm SOIL DEPTH, 75mm
MULCH)
-  GRANETIC SAND OR HARD
BASED LILYDALE TOPPINGS
-  ORNAMENTAL TREE- LOCATION TBC
(ALL TREES TO HAVE 3No. TIMBER
STAKES & HESSIAN SUPPORT WRAP)
-  NATIVE GRASSES/SHRUBS

PLANNING SCHEME REQUIREMENTS

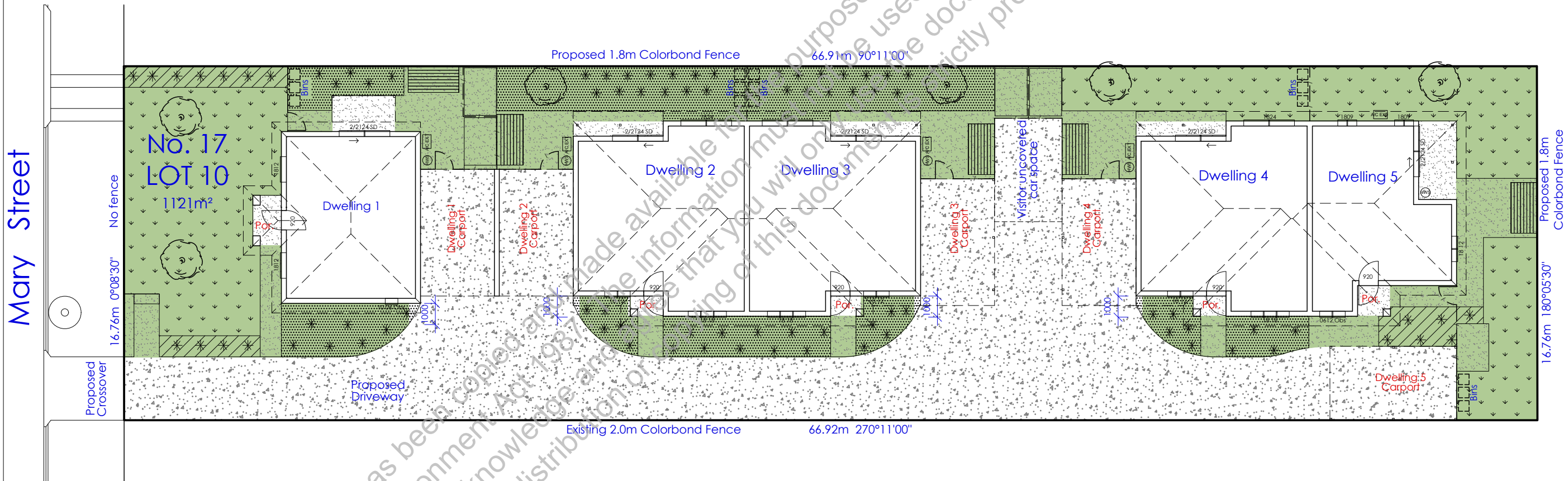
Garden Area Requirement:	
Lot Size	Minimum percentage of Garden Area
Up to 500m ²	25%
501 - 650m ²	30%
Above 650m ²	35%

Site Area : 1121m²
Garden Area Required = 35% : 392.35m²
Garden Area Proposed : 415.30m²



Garden Area

Complies



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Landscape Plan

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SCALE
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1:200 2m 4m 6m 8m



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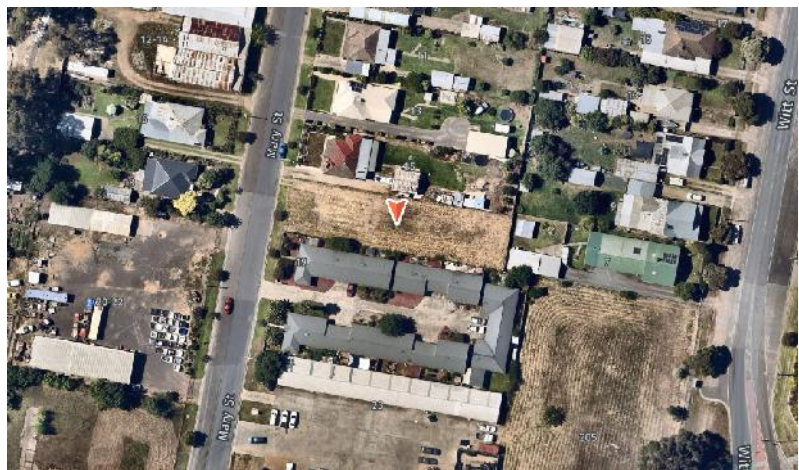
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Version 2 – 13th November, 2023



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Objective	Response
55.01 Neighbourhood and Site Description and Design Response	
<p>An application must be accompanied by:</p> <ul style="list-style-type: none"> A neighbourhood and site description. A design response. 	
<p>55.01-1 Neighbourhood and site description</p> <p>The neighbourhood and site description may use a site plan, photographs or other techniques and must accurately describe:</p> <p>In relation to the neighbourhood</p> <ul style="list-style-type: none"> - The pattern of development of the neighbourhood - The built form, scale and character of surrounding development including front fencing - Architectural and roof styles - Any other notable features or characteristics of the neighbourhood. <p>In relation to the site:</p> <ul style="list-style-type: none"> - Site shape, size, orientation and easements - Levels of the site and the difference in levels between the site and surrounding properties. - The location of existing buildings on the site and on surrounding properties, including the location and height of walls built to the boundary of the site. - The use of surrounding buildings - The location of secluded private open space and habitable room windows of surrounding properties which have an outlook to the site within 9 metres - Solar access to the site and to surrounding properties. - Location of significant trees existing on the site and any significant trees removed from the site 12 months prior to the application being made, where known. - Any contaminated soils and filled areas, where known - Views to and from the site. - Street frontage features such as poles, street trees and kerb crossovers. - The location of local shops, public transport services and public open spaces within walking distance. - Any other notable features or characteristics of the site. <p>If in the opinion of the responsible authority a requirement of the neighbourhood and site description is not relevant to the evaluation of an application, the responsible authority may waive or reduce the requirement.</p> <p>Satisfactory neighbourhood and site description</p> <p>If the responsible authority decides that the neighbourhood and site description is not satisfactory, it may require more information from the applicant under Section 54 of the Act.</p> <p>The responsible authority must not require notice of an application to be given or decide an application until it is satisfied that the neighbourhood and site description meets the requirements of Clause 55.01-1 and is satisfactory.</p> <p>This does not apply if the responsible authority refuses an application under Section 52(1A) of the Act.</p>	<p>Neighbourhood & Site Description</p> <p>Street Grid and Lot Sizes</p> <p>The surrounding streets form a roughly rectangular grid. The majority of lots are within 1000m² to 2800m². The bulk of the sites are occupied by single dwellings.</p> <p>Architectural Styles</p> <p>The architectural styles within the area consist of older style weatherboard or brick veneer residences of a simple vernacular style. They are all single storey.</p> <p>Roof Details</p> <p>In the area, the houses have either metal or tiled roofs. Roof pitches vary within the area as well as roof shapes. Both hip and gabled roofs are common in the older homes.</p> <p>Front Fences</p> <p>There is no front fence, most lots in the area have low front fence.</p> <p>Topography</p> <p>The area is relatively flat.</p> <p>Public Transport</p> <p>The town bus services the area with the closest bus stop situated 300m away from the subject site on Mackellar Street.</p> <p>Street Trees</p> <p>The majority of street trees are 3 to 6m high and are located along the nature strip of most lots.</p> <p>Household Gardens</p> <p>The existing gardens in the area vary in style and are of average quality.</p> <p>Site Shape and Orientation</p> <p>The site is long and rectangular in shape with the narrow side abutting the street. The lot area is approximately 1121m², with the long sides running roughly East – West.</p> <p>Site Topography</p> <p>The site is flat for all practical purposes.</p> <p>Current Usage</p> <p>The site is currently vacant.</p> <p>Abutting Properties</p> <p>The property on North side boundary has a weatherboard house with tiled roof and property to the South side is occupied by brick veneer units with metal roofs.</p> <p>Site Contamination</p> <p>The site is not known to be contaminated.</p> <p>Existing Trees</p> <p>There are no significant trees located on the site which would affect the proposed location of the new dwellings.</p>

	<p>Views from the Site There are no views from this site except to the street.</p> <p>Other Notable Features There are no other notable features or characteristics of the site. This site has been classified as being in the General Residential Zone and in a Design and Development Overlay.</p> <p>See Plans See plans for further information on the site, adjoining properties and its relationship to the town centre.</p>
<p>55.01-2 Design response</p> <p>The design response must explain how the proposed design:</p> <ul style="list-style-type: none"> - Derives from and responds to the neighbourhood and site description. - Meets the objectives of Clause 55. - Responds to any neighbourhood character features for the area identified in a local planning policy or a Neighbourhood Character Overlay. <p>The design response must include correctly proportioned street elevations or photographs showing the development in the context of adjacent buildings. If in the opinion of the responsible authority this requirement is not relevant to the evaluation of an application, it may waive or reduce the requirement.</p>	<p>Refer to design response B1 below, plans and elevations.</p>

55.02 Neighbourhood Character and Infrastructure	Response
<p>55.02-1 Neighbourhood character objectives</p> <p>To ensure that the design respects the existing neighborhood character or contributes to a Preferred neighborhood character.</p> <p>To ensure that development responds to the features of the site and the surrounding area.</p> <p>Standard B1</p> <p>The design response must be appropriate to the neighborhood and the site.</p> <p>The proposed design must respect the existing or preferred neighborhood character and respond to the features of the site.</p> <p>Decision guidelines</p> <p>Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> Any relevant neighbourhood character objective, policy or statement set out in this scheme. The neighbourhood and site description. The design response. 	<p>Design Response B1</p> <p>The design was derived by studying aspects produced in the site analysis and relevant council regulations.</p> <p>The existing houses in the area consist of a variety of architectural styles. This variety of homes in the one area are a common occurrence in country Victoria where development in the one Neighbourhood has occurred over a long period of time.</p> <p>The proposed multi-dwelling development consists of five single storey dwellings. The finish of the dwellings will be face brick with metal roofs which will modernise the buildings and enhance the streetscape.</p> <p>The medium density multi-dwelling design respects the existing neighbourhood character by being of a low scaled built form with area in front of the development set aside for landscaping.</p> <p>Design Satisfies Standards & Objectives.</p>
<p>55.02-2 Residential policy objectives</p> <p>To ensure that residential development is provided in accordance with any policy for housing in the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.</p> <p>To support medium densities in areas where development can take advantage of public transport and community infrastructure and services.</p> <p>Standard B2</p> <p>An application must be accompanied by a written statement to the satisfaction of the responsible authority that describes how the development is consistent with any relevant policy for housing in the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.</p> <p>Decision guidelines</p> <p>Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> The State Planning Policy Framework and the Local Planning Policy Framework including the Municipal Strategic Statement and local planning policies. The design response. 	<p>Design Response B2</p> <p>The subject site is located within the General Residential Zone of the Benalla Planning Scheme.</p> <p>This 5 Unit proposal supports Clause 11.01-1L Settlement by being situated in an urban area that is consistent with the Benalla Framework Plan for this type of infill residential development. The proposed development also provides a more diverse range of housing options for existing and future population, especially for low-income tenants that require affordable accommodation.</p> <p>State Planning Policy The proposed medium density development supports the following statements under State Planning Policy - Clause 16.01-1S Housing Supply:</p> <ul style="list-style-type: none"> - Encourage higher density housing development on sites that are well located in relation to jobs, services and public transport. - Facilitate diverse housing that offers choice and meets changing household needs by widening housing diversity through a mix of housing types. - Encourage the development of well-designed housing that incorporates universal design and adaptable internal dwelling design.

	<p>The proposed medium density development supports the following statements under State Planning Policy - Clause 16.01-2S Housing Affordability.</p> <p>Improve housing affordability by:</p> <ul style="list-style-type: none"> - Increasing choice in housing type, tenure and cost to meet the needs of households as they move through life cycle changes and to support diverse communities. - Promoting good housing and urban design to minimise negative environmental impacts and keep costs down for residents and the wider community. - Encouraging a significant proportion of new development to be affordable for households on very low to moderate incomes. <p>Increase the supply of well-located affordable housing by:</p> <ul style="list-style-type: none"> - Facilitating a mix of private, affordable and social housing in suburbs, activity centres and urban renewal precincts. <p>Design Satisfies Standards & Objectives.</p>
<p>55.02-3 Dwelling diversity objective</p> <p>To encourage a range of dwelling sizes and types in developments of ten or more dwellings.</p> <p>Standard B3</p> <p>Developments of ten or more dwellings should provide a range of dwelling sizes and types, including:</p> <p style="padding-left: 40px;">Dwellings with a different number of bedrooms.</p> <p style="padding-left: 40px;">At least one dwelling that contains a kitchen, bath or shower, and a toilet and wash basin at ground floor level.</p>	<p>Design Response B3</p> <p>There are less than 10 dwellings in total. Therefore, this Standard is not applicable.</p> <p>Design satisfies standards & objectives.</p>
<p>55.02-4 Infrastructure objectives</p> <p>To ensure development is provided with appropriate utility services and infrastructure.</p> <p>To ensure development does not unreasonably overload the capacity of utility services and infrastructure.</p> <p>Standard B4</p> <p>Development should be connected to reticulated services, including reticulated sewerage, drainage, electricity, and gas, if available.</p> <p>Development should not unreasonably exceed the capacity of utility services and infrastructure, including reticulated services and roads.</p> <p>In areas where utility services or infrastructure have little or no spare capacity, developments should provide for the upgrading of or mitigation of the impact on services or infrastructure.</p> <p>Decision guidelines</p> <p>Before deciding on an application, the responsible authority must consider:</p> <p style="padding-left: 40px;">The capacity of the existing infrastructure.</p> <p style="padding-left: 40px;">In the absence of reticulated sewerage, the capacity of the</p>	<p>Design Response B4</p> <p>Development will be connected to reticulated services - Electricity, Gas, Water and Sewerage subject to the authorities indicating there is capacity within their system. This will be confirmed when the council refers the application to them for comment.</p> <p>Design satisfies standards & objectives.</p>

<p>development to treat and retain all wastewater in accordance with the State Environment Protection Policy (Waters of Victoria) under the Environment Protection Act 1970.</p> <p>If the drainage system has little or no spare capacity, the capacity of the development to provide for storm water drainage mitigation or upgrading of the local drainage system.</p>	
<p>55.02-5 Integration with the street objective</p> <p>To integrate the layout of development with the street.</p> <p>Standard B5</p> <p>Developments should provide adequate vehicle and pedestrian links that maintain or enhance local accessibility.</p> <p>Development should be oriented to front existing and proposed streets.</p> <p>High fencing in front of dwellings should be avoided if practicable.</p> <p>Development next to existing public open space should be laid out to complement the open space.</p> <p>Decision guidelines</p> <p>Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> Any relevant neighbourhood character objective, policy or statement set out in this scheme. The design response. 	<p>Design Response B5</p> <p>There is no high front fencing proposed. The proposed development will be orientated to the street and internal accessway.</p> <p>The development is not next to any existing public open space to complement.</p> <p>Design satisfies standards & objectives.</p>

55.03 Site Layout and Building Massing	Response
<p>55.03-1 Street setback objective</p> <p>To ensure that the setbacks of buildings from a street respect the existing or preferred neighbourhood character and make efficient use of the site.</p> <p>Standard B6</p> <p>Walls of buildings should be set back from streets: At least the distance specified in a schedule to the zone, or</p> <p>If no distance is specified in a schedule to the zone, the distance specified in Table B1.</p> <p>Porches, pergolas and verandahs that are less than 3.6 metres high and eaves may encroach not more than 2.5 metres into the setbacks of this standard.</p> <p>Decision guidelines</p> <p>Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> Any relevant neighbourhood character objective, policy or statement set out in this scheme. The design response. Whether a different setback would be more appropriate taking into account the prevailing setbacks of existing buildings on nearby lots. The visual impact of the building when viewed from the street and from adjoining properties. The value of retaining vegetation within the front setback. 	<p>Design Response B6</p> <p>According to the standard, for this development the front setback should be a minimum of the average of the setbacks of the adjoining buildings. The setback 7.45m complies with the average of adjoining dwellings.</p> <p>Design satisfies standards & objectives.</p>
<p>55.03-2 Building height objective</p> <p>To ensure that the height of buildings respects the existing or preferred neighbourhood character.</p> <p>Standard B7</p> <p>The maximum building height should not exceed the maximum height specified in the zone, schedule to the zone or an overlay that applies to the land.</p> <p>If no maximum height is specified in the zone, schedule to the zone or an overlay, the maximum building height should not exceed 9 metres, unless the slope of the natural ground level at any cross section wider than 8 metres of the site of the building is 2.5 degrees or more, in which case the maximum building height should not exceed 10 metres.</p> <p>Changes of building height between existing buildings and new buildings should be graduated.</p> <p>Decision guidelines</p> <p>Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> Any relevant neighbourhood character objective, policy or statement set out in this scheme. 	<p>Design Response B7</p> <p>As no maximum height is nominated in the zone – 9m is the maximum. The maximum heights are less than 9m.</p> <p>Design satisfies standards & objectives.</p>

<p>Any maximum building height specified in the zone, a schedule to the zone or an overlay applying to the land.</p> <p>The design response.</p> <p>The effect of the slope of the site on the height of the building.</p> <p>The relationship between the proposed building height and the height of existing adjacent buildings.</p> <p>The visual impact of the building when viewed from the street and from adjoining properties.</p>	
<p>55.03-3 Site coverage objective</p> <p>To ensure that the site coverage respects the existing or preferred neighbourhood character and responds to the features of the site.</p> <p>Standard B8</p> <p>The site area covered by buildings should not exceed:</p> <p style="padding-left: 40px;">The maximum site coverage specified in a schedule to the zone, or</p> <p style="padding-left: 40px;">If no maximum site coverage is specified in a schedule to the zone, 60 per cent.</p> <p>Decision guidelines</p> <p>Before deciding on an application, the responsible authority must consider:</p> <p style="padding-left: 40px;">Any relevant neighbourhood character objective, policy or statement set out in this scheme.</p> <p style="padding-left: 40px;">The design response.</p> <p style="padding-left: 40px;">The existing site coverage and any constraints imposed by existing development or the features of the site.</p> <p style="padding-left: 40px;">The site coverage of adjacent properties.</p> <p style="padding-left: 40px;">The effect of the visual bulk of the building and whether this is acceptable in the neighbourhood.</p>	<p>Design Response B8</p> <p>No maximum is specified in zone therefore 60% is the maximum.</p> <p>The site coverage is approximately 41.55% which is less than 60%.</p> <p>Design satisfies standards & objectives.</p>
<p>55.03-4 Permeability and stormwater management objectives</p> <p>To reduce the impact of increased stormwater run-off on the drainage system.</p> <p>To facilitate on-site stormwater infiltration.</p> <p>To encourage stormwater management that maximises the retention and reuse of stormwater.</p> <p>Standard B9</p> <p>The site area covered by the pervious surfaces should be at least:</p> <p style="padding-left: 40px;">The minimum area specified in a schedule to the zone, or</p> <p style="padding-left: 40px;">If no minimum is specified in a schedule to the zone, 20 percent of the site.</p> <p>The stormwater management system should be designed to:</p>	<p>Design Response B9</p> <p>There is no minimum specified in the zone therefore 20% is the minimum.</p> <p>The site permeability is approximately 27.64%, which is greater than 20%.</p> <p>The stormwater management system has not yet been designed but will be designed by a drainage engineer to meet current best practice performance objectives for stormwater quality.</p>

<p>Meet the current best practice performance objectives for stormwater quality as contained in the Urban Stormwater - Best Practice Environmental Management Guidelines (Victorian Stormwater Committee, 1999).</p> <p>Contribute to cooling, improving local habitat and providing attractive and enjoyable spaces.</p> <p>Decision guidelines</p> <p>Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> The design response. The capacity of the site to incorporate stormwater retention and reuse. The existing site coverage and any constraints imposed by existing development. The capacity of the drainage network to accommodate additional stormwater. The capacity of the site to absorb run-off. The practicality of achieving the minimum site coverage of pervious surfaces, particularly on lots of less than 300 square metres. Whether the owner has entered into an agreement to contribute to off-site stormwater management in lieu of providing an on-site stormwater management system. 	<p>Design satisfies standards & objectives.</p>
<p>55.03-5 Energy efficiency objectives</p> <p>To achieve and protect energy efficient dwellings and residential buildings.</p> <p>To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy.</p> <p>Standard B10</p> <p>Buildings should be:</p> <ul style="list-style-type: none"> Oriented to make appropriate use of solar energy. Sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced. <p>Living areas and private open space should be located on the north side of the development, if practicable.</p> <p>Developments should be designed so that solar access to north-facing windows is maximised.</p> <p>Decision guidelines</p> <p>Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> The design response. The size, orientation and slope of the lot. The existing amount of solar access to abutting properties. The availability of solar access to north-facing windows on the site. 	<p>Design Response B10</p> <p>All the dwellings will have north facing living areas.</p> <p>North facing windows have been maximised. Our proposed development does not affect the solar efficiency of the adjoining properties.</p> <p>Any shadows cast from our development do not affect the adjoining properties.</p> <p>Design satisfies standards & objectives.</p>

<p>55.03-6 Open space objective</p> <p>To integrate the layout of development with any public and communal open space provided in or adjacent to the development.</p> <p>Standard B11</p> <p>If any public or communal open space is provided on site, it should:</p> <ul style="list-style-type: none"> Be substantially fronted by dwellings, where appropriate. Provide outlook for as many dwellings as practicable. Be designed to protect any natural features on the site. Be accessible and useable. <p>Decision guidelines</p> <p>Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> Any relevant plan or policy for open space in the State Planning Policy Framework and Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies. <p>The design response.</p>	<p>Design Response B11</p> <p>The communal open space in the development is generally the driveway accessing the car spaces for all dwellings. It will be fronted by dwellings 2 - 5 and will be overlooked by their bedroom windows. See Plans.</p> <p>There are no natural features to protect.</p> <p>The Communal Open Space is accessible and useable.</p> <p>Design satisfies standards & objectives.</p>
<p>55.03-7 Safety objective</p> <p>To ensure the layout of development provides for the safety and security of residents and property.</p> <p>Standard B12</p> <p>Entrances to dwellings and residential buildings should not be obscured or isolated from the street and internal accessways.</p> <p>Planting which creates unsafe spaces along streets and accessways should be avoided.</p> <p>Developments should be designed to provide good lighting, visibility and surveillance of car parks and internal accessways.</p> <p>Private spaces within developments should be protected from inappropriate use as public thoroughfares.</p> <p>Decision guideline</p> <p>Before deciding on an application, the responsible authority must consider the design response.</p>	<p>Design Response B12</p> <p>The entrance to Unit 1 is not obscured or isolated from the street.</p> <p>The entrances to Units 2 - 5 are partially obscured from the street, but not from the internal accessway.</p> <p>Planting will be designed to eliminate any unsafe spaces.</p> <p>The driveway is visible from the dwellings. The occupants shall be able to provide surveillance of the spaces.</p> <p>The private open spaces within the development have not been designed to enable use as public thoroughfares.</p> <p>Design satisfies standards & objectives.</p>
<p>55.03-8 Landscaping objectives</p> <p>To encourage development that respects the landscape character of the neighbourhood.</p> <p>To encourage development that maintains and enhances habitat for plants and animals in locations of habitat importance.</p> <p>To provide appropriate landscaping.</p> <p>To encourage the retention of mature vegetation on the site.</p> <p>Standard B13</p> <p>The landscape layout and design should:</p>	<p>Design Response B13</p> <p>The landscape plan has not yet been developed but it will have the following characteristics in the design.</p>

<p>Protect any predominant landscape features of the neighbourhood.</p> <p>Take into account the soil type and drainage patterns of the site.</p> <p>Allow for intended vegetation growth and structural protection of buildings.</p> <p>In locations of habitat importance, maintain existing habitat and provide for new habitat for plants and animals.</p> <p>Provide a safe, attractive and functional environment for residents.</p> <p>Development should provide for the retention or planting of trees, where these are part of the character of the neighbourhood.</p> <p>Development should provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made.</p> <p>The landscape design should specify landscape themes, vegetation (location and species), paving and lighting.</p> <p>Development should meet any additional landscape requirements specified in a schedule to the zone.</p> <p>Decision guidelines</p> <p>Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> Any relevant neighbourhood character objective, policy or statement set out in this scheme Any relevant plan or policy for landscape design in the State Planning Policy Framework and Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies. The design response. The location and size of gardens and the predominant plant types in the neighbourhood. The health of any trees to be removed. Whether a tree was removed to gain a development advantage 	<p>Provide a safe, attractive, functional environment for the occupants.</p> <p>Consider soil type and drainage,</p> <p>Specify themes, paving types etc.</p> <p>Dwelling shall be structurally protected from intended vegetation. There are no existing themes on the site to be retained.</p> <p>There are no existing themes on the site to be retained.</p> <p>Design satisfies standards & objectives.</p>
<p>55.03-9 Access objective</p> <p>To ensure the number and design of vehicle crossovers respects the neighbourhood character.</p> <p>Standard B14</p> <p>The width of access ways or car spaces should not exceed:</p> <ul style="list-style-type: none"> 33 per cent of the street frontage, or if the width of the street frontage is less than 20 metres, 40 per cent of the street frontage. <p>No more than one single-width crossover should be provided for each dwelling fronting a street.</p> <p>The location of crossovers should maximise the retention of on-street car parking spaces. The number of access points to a</p>	<p>Design Response B14</p> <p>Accessways have been designed to allow safe access within the site and access onto the existing streets. All roads will be at least 3 metres wide and have an internal radius of 4 metres.</p> <p>Accessways do not exceed 40% of the frontage.</p> <p>The position of the crossovers ensure that the on-street car parking spaces are maximised.</p> <p>Access is provided for emergency vehicles entering the site. Delivery vehicles will be capable of entering most of the site.</p>

<p>road in a Road Zone should be minimised. Developments must provide for access for service, emergency and delivery vehicles.</p> <p>Decision guidelines</p> <p>Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> The design response. The impact on the neighbourhood character. The reduction of on-street car parking spaces. The effect on any significant vegetation on the site and footpath. 	<p>Design satisfies standards & objectives.</p>
<p>55.03-10 Parking location objectives</p> <p>To provide convenient parking for resident and visitor vehicles. To protect residents from vehicular noise within developments.</p> <p>Standard B15</p> <p>Car parking facilities should:</p> <ul style="list-style-type: none"> Be reasonably close and convenient to dwellings and residential buildings. Be secure. Be well ventilated if enclosed <p>Shared accessways or car parks of other dwellings and residential buildings should be located at least 1.5 metres from the windows of habitable rooms. This setback may be reduced to 1 metre where there is a fence at least 1.5 metres high or where window sills are at least 1.4 metres above the accessway.</p> <p>Decision guideline</p> <p>Before deciding on an application, the responsible authority must consider the design response.</p> <p>Car Parking</p> <p>The table contained in Clause 52.06-5 of the Planning Scheme states that car parking must be provided at a ratio of:</p> <ul style="list-style-type: none"> 1 car space to each one- or two-bedroom dwelling, plus; 2 car spaces to each three or more bedroom dwelling (with studies or studios that are separate rooms counted as a bedroom) plus; 1 car space for visitors to every 5 dwellings for developments of 5 or more dwellings. 	<p>Design Response B15</p> <p>The layout of the car parking will allow safe and efficient movement within the site, while still being a convenient distance from the buildings.</p> <p>All driveways shall be at least 1.5 metres from habitable room windows - see plans.</p> <p>Design satisfies standards & objectives.</p> <p>Design Response B16</p> <p>Dwellings 1 & 5 are one-bedroom dwellings with the required single car space located under their Carports.</p> <p>Dwellings 2, 3 & 4 are regarded as two-bedroom dwelling and provides the necessary single car space under their Carports.</p> <p>Provided 1 car space for visitors to every 5 dwellings.</p> <p>Design satisfies standards & objectives.</p>

55.04 Amenity Impacts	Response
<p>55.04-1 Side and rear setback objective</p> <p>To ensure that the height and setback of a building from a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.</p> <p>Standard B17</p> <p>A new building not on or within 200mm of a boundary should be set back from side or rear boundaries:</p> <p>At least the distance specified in a schedule to the zone, or</p> <p>If no distance is specified in a schedule to the zone, 1 metre, plus 0.3 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres.</p> <p>Sunblinds, verandahs, porches, eaves, fascias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or cooling equipment or other services may encroach not more than 0.5 metres into the setbacks of this standard.</p> <p>Landings having an area of not more than 2 square metres and less than 1 metre high, stairways, ramps, pergolas, shade sails and carports may encroach into the setbacks of this standard.</p> <p>Decision guidelines</p> <p>Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> Any relevant neighbourhood character objective, policy or statement set out in this scheme. The design response. The impact on the amenity of the habitable room windows and secluded private open space of existing dwellings. Whether the wall is opposite an existing or simultaneously constructed wall built to the boundary. Whether the wall abuts a side or rear lane. 	<p>Design Response B17</p> <p>All side and rear setbacks will be as per the code. In the absence of specified distance 1 metre plus 0.3 metres for every metre over 3.6 has been provided.</p> <p>Design satisfies standards & objectives.</p>
<p>55.04-2 Walls on boundaries objective</p> <p>To ensure that the location, length and height of a wall on a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.</p> <p>Standard B18</p> <p>A new wall constructed on or within 200mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of lot should not abut the boundary:</p> <p>For a length of more than the distance specified in a schedule to the zone; or</p> <p>If no distance is specified in a schedule to the zone, for a length of more than:</p> <p>10 metres plus 25 per cent of the remaining length of</p>	<p>Design Response B18</p> <p>There are no boundaries with abutting walls.</p> <p>Design satisfies standards & objectives.</p>

<p>the boundary of an adjoining lot, or</p> <p>Where there are existing or simultaneously constructed walls or carports abutting the boundary on an abutting lot, the length of the existing or simultaneously constructed walls or carports,</p> <p>whichever is the greater.</p> <p>A new wall or carport may fully abut a side or rear boundary where slope and retaining walls or fences would result in the effective height of the wall or carport being less than 2 metres on the abutting property boundary.</p> <p>A building on a boundary includes a building set back up to 200mm from a boundary.</p> <p>The height of a new wall constructed on or within 200mm of a side or rear boundary or a carport constructed on or within 1 metre of a side or rear boundary should not exceed an average of 3.2 metres with no part higher than 3.6 metres unless abutting a higher existing or simultaneously constructed wall.</p> <p>Decision guidelines</p> <p>Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> Any relevant neighbourhood character objective, policy or statement set out in this scheme. The design response. The extent to which walls on boundaries are part of the neighbourhood character The opportunity to minimise the length of walls on boundaries by aligning a new wall on a boundary with an existing wall on a lot of an adjoining property. The orientation of the boundary that the wall is being built on. The width of the lot. The extent to which the slope and retaining walls or fences reduce the effective height of the wall. Whether the wall abuts a side or rear lane. The need to increase the wall height to screen a box gutter. 	
<p>55.04-3 Daylight to existing windows objective</p> <p>To allow adequate daylight into existing habitable room windows.</p> <p>Standard B19</p> <p>Buildings opposite an existing habitable room window should provide for a light court to the existing window that has a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky. The calculation of the area may include land on the abutting lot.</p> <p>Walls or carports more than 3 metres in height opposite an existing habitable room window should be set back from the window at least 50 per cent of the height of the new wall if the wall is within a 55 degree arc from the centre of the existing window. The arc may be swung to within 35 degrees of the plane of the wall containing the existing window.</p> <p>Where the existing window is above ground floor level, the wall</p>	<p>Design Response B19</p> <p>All adjoining properties will not be impacted in terms of natural light into existing windows. See plans.</p> <p>Design satisfies standards & objectives.</p>

<p>height is measured from the floor level of the room containing the window.</p> <p>Decision guidelines Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> The design response. The extent to which the existing dwelling has provided for reasonable daylight access to its habitable rooms through the siting and orientation of its habitable room windows. 	
<p>55.04-4 North-facing windows objective</p> <p>To allow adequate solar access to existing north-facing habitable room windows.</p> <p>Standard B20</p> <p>If a north-facing habitable room window of an existing dwelling is within 3 metres of a boundary on an abutting lot, a building should be setback from the boundary 1 metre, plus 0.6 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres, for a distance of 3 metres from the edge of each side of the window. A north-facing window is a window with an axis perpendicular to its surface oriented north 20 degrees west to north 30 degrees east.</p> <p>Decision guidelines Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> The design response. Existing sunlight to the north-facing habitable room window of the existing dwelling. 	<p>Design Response B20</p> <p>The design complies as is, as the development does not impact on any north facing room windows. See Plans.</p> <p>Design satisfies standards & objectives.</p>
<p>55.04-5 Overshadowing open space objective</p> <p>To ensure buildings do not significantly overshadow existing secluded private open space.</p> <p>Standard B21</p> <p>Where sunlight to the secluded private open space of an existing dwelling is reduced, at least 75 per cent, or 40 square metres with minimum dimension of 3 metres, whichever is the lesser area, of the secluded private open space should receive a minimum of five hours of sunlight between 9 am and 3 pm on 22 September.</p> <p>If existing sunlight to the secluded private open space of an existing dwelling is less than the requirements of this standard, the amount of sunlight should not be further reduced.</p> <p>Decision guidelines Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> The design response. The impact on the amenity of existing dwellings. Existing sunlight penetration to the secluded private open space of the existing dwelling. The time of day that sunlight will be available to the secluded private open space of the existing dwelling. The effect of a reduction in sunlight on the existing use of the existing secluded private open space. 	<p>Design Response B21</p> <p>As shown on the plans, more than 40m² unshadowed private open space area remains between the hours of 9am and 3pm on 22 September.</p> <p>The sunlight to the secluded private open spaces of the adjoining properties is not reduced any more than permitted.</p> <p>Refer to plans.</p> <p>Design satisfies standards & objectives.</p>

55.04-6 Overlooking objective

To limit views into existing secluded private open space and habitable room windows.

Standard B22

A habitable room window, balcony, terrace, deck or patio should be located and designed to avoid direct views into the secluded private open space of an existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio. Views should be measured within a 45 degree angle from the plane of the window or perimeter of the balcony, terrace, deck or patio, and from a height of 1.7 metres above floor level.

A habitable room window, balcony, terrace, deck or patio with a direct view into a habitable room window of existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio should be either:

- Offset a minimum of 1.5 metres from the edge of one window to the edge of the other.

- Have sill heights of at least 1.7 metres above floor level.

- Have fixed, obscure glazing in any part of the window below 1.7 metre above floor level.

- Have permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent.

Obscure glazing in any part of the window below 1.7 metres above floor level may be openable provided that there are no direct views as specified in this standard.

Screens used to obscure a view should be:

- Perforated panels or trellis with a maximum of 25 per cent openings or solid translucent panels.

- Permanent, fixed and durable.

- Designed and coloured to blend in with the development.

This standard does not apply to a new habitable room window, balcony, terrace, deck or patio which faces a property boundary where there is a visual barrier at least 1.8 metres high and the floor level of the habitable room, balcony, terrace, deck or patio is less than 0.8 metres above ground level at the boundary.

Decision guidelines

Before deciding on an application, the responsible authority must consider:

- The design response.

- The impact on the amenity of the secluded private open space or habitable room window.

- The existing extent of overlooking into the secluded private open space and habitable room windows of existing dwellings.

- The internal daylight to and amenity of the proposed dwelling or residential building.

Design Response B22

Overlooking does not apply due to the proposed 1.8m high and existing 2m high boundary fencing and the finished floor levels of all proposed dwellings being less than 0.8m above ground level at the boundary.

Refer to plans.

Design satisfies standards & objectives.

<p>55.04-7 Internal views objective</p> <p>To limit views into the secluded private open space and habitable room windows of dwellings and residential buildings within a development.</p> <p>Standard B23</p> <p>Windows and balconies should be designed to prevent overlooking of more than 50 per cent of the secluded private open space of a lower-level dwelling or residential building directly below and within the same development.</p> <p>Decision guideline</p> <p>Before deciding on an application, the responsible authority must consider the design response.</p>	<p>Design Response B23</p> <p>The dwellings are single storey dwellings. The internal fences 1.8m high will restrict overlooking. See Plans.</p> <p>Design satisfies standards & objectives.</p>
<p>55.04-8 Noise impacts objectives</p> <p>To contain noise sources in developments that may affect existing dwellings.</p> <p>To protect residents from external noise.</p> <p>Standard B24</p> <p>Noise sources, such as mechanical plant, should not be located near bedrooms of immediately adjacent existing dwellings.</p> <p>Noise sensitive rooms and secluded private open spaces of new dwellings and residential buildings should take account of noise sources on immediately adjacent properties.</p> <p>Dwellings and residential buildings close to busy roads, railway lines or industry should be designed to limit noise levels in habitable rooms.</p> <p>Decision guideline</p> <p>Before deciding on an application, the responsible authority must consider the design response.</p>	<p>Design Response B24</p> <p>Noise sources (if any) will not be located near adjoining bedrooms of adjoining dwellings. These dwellings are near busy road and in the design process we have considered these issues. Windows to habitable rooms have been located and designed to limit this noise.</p> <p>Design satisfies standards & objectives.</p>

55.05 On-Site Amenity and Facilities	Response
<p>55.05-1 Accessibility objective</p> <p>To encourage the consideration of the needs of people with limited mobility in the design of developments.</p> <p>Standard B25</p> <p>The dwelling entries of the ground floor of dwellings and residential buildings should be accessible or able to be easily made accessible to people with limited mobility.</p>	<p>Design Response B25</p> <p>The development will be single storey which will allow easy accessibility for D/A people. Steps at the entrances have been minimised.</p> <p>Design satisfies standards & objectives.</p>
<p>55.05-2 Dwelling entry objective</p> <p>To provide each dwelling or residential building with its own sense of identity.</p> <p>Standard B26</p> <p>Entries to dwellings and residential buildings should:</p> <ul style="list-style-type: none"> Be visible and easily identifiable from streets and other public areas. Provide shelter, a sense of personal address and a transitional space around the entry. 	<p>Design Response B26</p> <p>The dwellings have been designed with Porticos to emphasise the entry, giving the dwellings a sense of personal address. The entrance porticos have been located to be visible from the access roads.</p> <p>Design satisfies standards & objectives.</p>
<p>55.05-3 Daylight to new windows objective</p> <p>To allow adequate daylight into new habitable room windows.</p> <p>Standard B27</p> <p>A window in a habitable room should be located to face:</p> <ul style="list-style-type: none"> An outdoor space clear to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot, or A verandah provided it is open for at least one third of its perimeter or A carport provided it has two or more open sides and is open for at least one third of its perimeter. <p>Decision guidelines</p> <p>Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> The design response. Whether there are other windows in the habitable room which have access to daylight. 	<p>Design Response B27</p> <p>Habitable room windows will all have a minimum light view to outside of 3m².</p> <p>Design satisfies standards & objectives.</p>

55.05-4 Private open space objective

To provide adequate private open space for the reasonable recreation and service needs of Residents.

Standard B28

A dwelling or residential building should have private open space of an area and dimensions specified in a schedule to the zone.

If no area or dimensions are specified in a schedule to the zone, a dwelling or residential building should have private open space consisting of:

An area of 40 square metres, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling or residential building with a minimum area of 25 square metres, a minimum dimension of 3 metres and convenient access from a living room, or

A balcony of 8 square metres with a minimum width of 1.6 metres and convenient access from a living room, or

A roof-top area of 10 square metres with a minimum width of 2 metres and convenient access from a living room.

The balcony requirements in Clause 55.05-4 do not apply to an apartment development.

Decision guidelines

Before deciding on an application, the responsible authority must consider:

The design response.

The useability of the private open space, including its size and accessibility.

The availability of and access to public or communal open space.

The orientation of the lot to the street and the sun.

Design Response B28

All dwellings shall have Private open space of 40m² minimum. See Plans.

All Secluded Private Open spaces shall have direct access to a living room - see plans, with a minimum of 25m² and a minimum width of 3m.

Design satisfies standards & objectives.

55.05-5 Solar access to open space objective

To allow solar access into the secluded private open space of new dwellings and residential buildings.

Standard B29

The private open space should be located on the north side of the dwelling or residential building, if appropriate.

The southern boundary of secluded private open space should be set back from any wall on the north of the space at least (2 + 0.9h) metres, where 'h' is the height of the wall.

Decision guidelines

Before deciding on an application, the responsible authority must consider:

The design response.

The useability and amenity of the secluded private open space based on the sunlight it will receive.

Design Response B29

Secluded Private Open space is located on the North side for all dwellings. All Private open spaces have access to north sunlight. Therefore, the orientation meets the desired location, gaining the majority of the sunlight throughout the day.

Secluded private open spaces is located to ensure they will have solar access.

Design satisfies standards & objectives.

55.05-6 Storage objective

To provide adequate storage facilities for each dwelling.

Standard B30

Each dwelling should have convenient access to at least 6 cubic metres of externally accessible, secure storage space.

Design Response B30

A lock up shed is to be provided with a capacity of 6m³ for each dwelling.

Design satisfies standards & objectives.

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55.06 Detailed Design	Response								
<p>55.06-1 Design detail objective</p> <p>To encourage design detail that respects the existing or preferred neighbourhood character.</p> <p>Standard B31</p> <p>The design of buildings, including:</p> <ul style="list-style-type: none"> Facade articulation and detailing, Window and door proportions, Roof form, and Verandahs, eaves and parapets, <p>should respect the existing or preferred neighbourhood character.</p> <p>Garages and carports should be visually compatible with the development and the existing or preferred neighbourhood character.</p> <p>Decision guidelines</p> <p>Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> Any relevant neighbourhood character objective, policy or statement set out in this scheme. The design response. The effect on the visual bulk of the building and whether this is acceptable in the neighbourhood setting. Whether the design is innovative and of a high architectural standard. 	<p>Design Response B31</p> <p>The proposed dwellings have been designed with articulated facades to enhance the existing neighbourhood character.</p> <p>The external walls are to be face brickwork with Colorbond roofs this will give the dwellings a more modern look and enhance the streetscape.</p> <p>Open carports with flat metal roofs are proposed, which are compatible with the many simple flat roofed carports in the area.</p> <p>As discussed in Design Response 1 the neighbourhood has an older and very simple architectural style. The simple design of the proposed units is not out of character within the existing streetscape.</p> <p>Design satisfies standards & objectives.</p>								
<p>55.06-2 Front fences objective</p> <p>To encourage front fence design that respects the existing or preferred neighbourhood character.</p> <p>Standard B32</p> <p>The design of front fences should complement the design of the dwelling or residential building and any front fences on adjoining properties.</p> <p>A front fence within 3 metres of a street should not exceed:</p> <ul style="list-style-type: none"> The maximum height specified in a schedule to the zone, or If no maximum height is specified in a schedule to the zone, the maximum height specified in Table B3. <p>Table B3 Maximum front fence height</p> <table border="1"> <tr> <th>Street Context</th><th>Maximum front fence height</th></tr> <tr> <td>Streets in a Road Zone, Category 1</td><td>2 metres</td></tr> <tr> <th>Street Context</th><th>Maximum front fence height</th></tr> <tr> <td>Other Streets</td><td>1.5 metres</td></tr> </table> <p>Decision guidelines</p> <p>Before deciding on an application, the responsible authority must consider:</p>	Street Context	Maximum front fence height	Streets in a Road Zone, Category 1	2 metres	Street Context	Maximum front fence height	Other Streets	1.5 metres	<p>Design Response B32</p> <p>No front fence is proposed.</p> <p>Design satisfies standards & objectives.</p>
Street Context	Maximum front fence height								
Streets in a Road Zone, Category 1	2 metres								
Street Context	Maximum front fence height								
Other Streets	1.5 metres								

<p>Any relevant neighbourhood character objective, policy or statement set out in this scheme.</p> <p>The design response.</p> <p>The setback, height and appearance of front fences on adjacent properties.</p> <p>The extent to which slope and retaining walls reduce the effective height of the front fence.</p> <p>Whether the fence is needed to minimise noise intrusion.</p>	
<p>55.06-3 Common property objectives</p> <p>To ensure that communal open space, car parking, access areas and site facilities are practical, attractive and easily maintained.</p> <p>To avoid future management difficulties in areas of common ownership.</p> <p>Standard B33</p> <p>Developments should clearly delineate public, communal and private areas.</p> <p>Common property, where provided, should be functional and capable of efficient management.</p>	<p>Design Response B33</p> <p>The communal open spaces will be generally the driveways. They shall be overlooked by various windows of the dwellings to ensure surveillance of these spaces. There will be no secluded areas of Communal Spaces which cannot be overlooked by dwelling windows.</p> <p>The communal open spaces will be managed by the owner of the property - Beyond Housing.</p> <p>Design satisfies standards & objectives.</p>
<p>55.06-4 Site services objectives</p> <p>To ensure that site services can be installed and easily maintained.</p> <p>To ensure that site facilities are accessible, adequate and attractive.</p> <p>Standard B34</p> <p>The design and layout of dwellings and residential buildings should provide sufficient space (including easements where required) and facilities for services to be installed and maintained efficiently and economically.</p> <p>Bin and recycling enclosures, mailboxes and other site facilities should be adequate in size, durable, waterproof and blend in with the development.</p> <p>Bin and recycling enclosures should be located for convenient access by residents.</p> <p>Mailboxes should be provided and located for convenient access as required by Australia Post.</p> <p>Decision guideline</p> <p>Before deciding on an application, the responsible authority must consider the design response.</p>	<p>Design Response B34</p> <p>Bins will be located in the secluded private open spaces and brought out onto the nature strip by the occupant when required.</p> <p>A mailbox will be installed adjacent to accessway.</p> <p>Design satisfies standards & objectives.</p>

LP 22299

EDITION 1

PLAN MAY BE LODGED 4/4/52

PLAN OF SUBDIVISION OF
PART OF CROWN ALLOTMENTS
6 & 7 SECTION 5
PARISH OF BENALLA
COUNTY OF DELATITE

MEASUREMENTS ARE IN
FEET AND INCHES

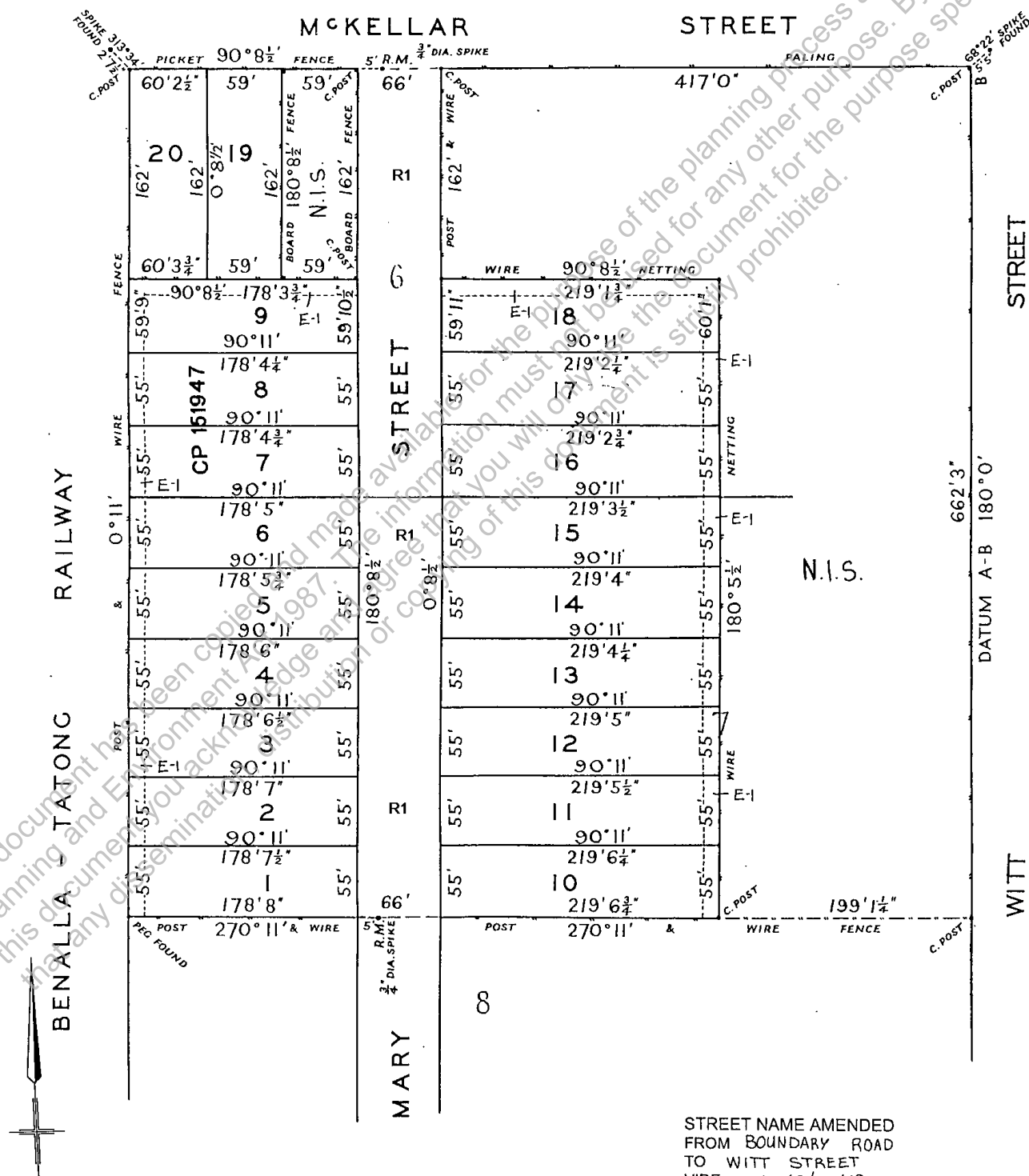
VOL. 4991 FOL. 093
3291 151

THE LAND COLOURED BROWN
IS APPROPRIATED OR SET
APART FOR EASEMENTS OF
WAY AND DRAINAGE

COLOUR CODE

E-1=BLUE
R1=BROWN

THE LAND COLOURED BLUE
IS APPROPRIATED OR SET
APART FOR EASEMENTS OF
DRAINAGE
AND IS 6 FEET WIDE



STREET NAME AMENDED
FROM BOUNDARY ROAD
TO WITT STREET
VIDE CORR. 62/12413

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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 08028 FOLIO 099

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Produced 13/11/2023 04:48 PM

LAND DESCRIPTION

Lot 10 on Plan of Subdivision 022299.
PARENT TITLE Volume 07748 Folio 179
Created by instrument 2028288 10/09/1946

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor
RURAL HOUSING NETWORK LTD of LEVEL 4 111-113 HUME STREET WODONGA VIC 3690
AX239026C 08/09/2023

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP022299 FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER	STATUS	DATE
AX239026C (E)	TRANSFER Registered	08/09/2023

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 17 MARY STREET BENALLA VIC 3672

ADMINISTRATIVE NOTICES

NIL

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