

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at: 240 Asbury Road, Lurg, Lot 3, LP 123087, Parish of Lurg The application is for a permit to: Use and Develop the land for a dwelling The applicant for the permit is: Mr Brodie Harrison

The application reference number is: P0002/24 , DA7095

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

An objection must:

- * be made to the responsible authority in writing;
- * include the reasons for the objection; and
- * state how the objector would be affected.

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

The Responsible Authority will not decide on the application before: $14\ March\ 2024$

If you object, the Responsible Authority will tell you its decision.



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Planning Enquiries Phone: (03) 5760 2600 Web: www.benalla.vic.gov.au Application No.:

1

Application for a **Planning Permit**

If you need help to complete this form, read MORE INFORMATION at the end of this form.

Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the Planning aking a course and and Environment Act 1987. If you have any questions, please contact Council's planning department.

A Questions marked with an asterisk (*) must be completed.

A If the space provided on the form is insufficient, attach a separate sheet.

Click for further information.

Clear Form

The Land 🚺

Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address *	Unit No.: St. No.:240 St. Name: Asbury road
	Suburb/Locality: Lurg Postcode: 3673
Formal Land Description * Complete either A or B.	A Lot No.: 3 OLodged Plan O Title Plan O Plan of Subdivision No.: 123087
This information can be found on the certificate of title.	OR B Crown Allotment No.: Section No.:
If this application relates to more than one address, attach a separate sheet setting out any additional property details.	Parish/Township Name: LURG
The Droposal	

The Proposal

Â You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application. 1. 14 20 (O)

For what use, development or other matter do you require a permit?*	Construction of single story dwelling.
Estimated cost of any development for which the permit is required *	Provide additional information about the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal. Cost \$\$840,497.00 A You may be required to verify this estimate. Insert '0' if no development is proposed.

Existing Conditions	
Describe how the land is used and developed now * For example, vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.	Vacant Residential/Rural Lifestyle
	Provide a plan of the existing conditions. Photos are also helpful.
Title Information	Does the proposal breach, in any way, an encumbrance on title such as a restrictrive covenant, section 173 agreement or other obligation such as an easement or building envelope?
Encumbrances on title *	 Yes (If 'yes' contact Council for advice on how to proceed before continuing with this application.)
	 No Not applicable (no such encumbrance applies).
	Provide a full, current copy of the title for each individual parcel of land forming the subject site. The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', for example, restrictive covenants.
	arthothe
Applicant and Owner	Details 1
Provide details of the applicant and t	Details he owner of the land.

Applicant *

Applicant	Name:						
The person who wants the	Title: Mr	First Name Brodie	<u>(0</u> , č		Surname:Harris	on	
permit.	Organisation (if applicable):						
	Postal Address:	50 KL 31 102	P.O. Box	O. Box, enter the details here:			
	Unit No.: St. No.:25 St. Nam			ame:Helms Court			
	Suburb/Locality:	Benalla			State: VIC	Postcode: 3672	
Please provide at least one	Contact information for applicant OR contact person below						
	Business phone	:0438868426		Ema	il:brodieharrisor	1988@gmail.com	
2 m	Mobile phone: 0	412237998		Fax:			
Where the preferred contact person for the application is different from the applicant, provide the details of that person. Owner *	Contact person's details* Name:			Same as applicant			
provide the details of that	Title:	First Name:			Surname:		
Owner * The person or organisation	Organisation (if applicable):						
at will got a	Postal Address:		If it is a F	P.O. Box	O. Box, enter the details here:		
ine dELION Stion	Unit No.:	St. No.:	St. Na	ame:			
doct an enternine	Suburb/Locality:				State:	Postcode:	
owner *	Name:					Same as applicant	
who owns the land	Title:	First Name:			Surname:		
Where the owner is different	Organisation (if	applicable):					
from the applicant, provide the details of that person or	Postal Address:		If it is a F	P.O. Box	x, enter the details here	2:	
organisation.	Unit No.:	St. No.:	St. Na	ame:			
	Suburb/Locality:				State:	Postcode:	
	Owner's Signatu	ure (Optional):			Date:		
						day / month / year	

Declaration **I**

This form must be signed by the applicant *

Remember it is against the law to provide false or	I declare that I am the applicant; and that all the information in						
misleading information, which could result in a	correct; and the owner (if not myself) has been notified of the permit application.						
heavy fine and cancellation	Signature: BH	Date: 20/12/23 day / month / year					
of the permit.		uay / monur / year					
Privacy consent	I give consent to my personal information disclosed in the app for public inspection, including on Council's public website, we determined, in accordance with Section 51 of the Planning ar Yes v No	hilst the application is being					
	BH	day / month / year					
		CES-SE. ES					
Need help with the Ap	oplication?	our our of the offer					
General information about the planning	process is available at <u>planning.vic.gov.au</u>	"Ve					
Contact Council's planning department Insufficient or unclear information may	t to discuss the specific requirements for this application and obtain delay your application.	in a planning permit checklist.					
		NOC C					
Has there been a pre-application meeting with a council planning	No O Yes If 'Yes', with whom?:	, 					
officer?	Date:	day / month / year					
Checklist 💶	Filled in the form completely?						
Have you:		ions require a fee to be paid. Contact Council the appropriate fee.					
	Provided all necessary supporting information and doct	uments?					
	A full, current copy of title information for each individual parcel of land for	ming the subject site.					
- Col	A plan of existing conditions.						
	Plans showing the layout and details of the proposal.	r outlined in a council planning permit checklist.					
	If required, a description of the likely effect of the proposal (for example, t						
s per mer owle	Completed the relevant council planning permit checkli	st?					
thas not char die							
Ref. Er ou stion	Signed the declaration above?						
- Con and the contraction							
Lodgement at the second and the seco	Benalla Rural City Council						
Lodge the completed and signed form, the fee	PO Box 227 Benalla VIC 3671						
and all documents with:	Customer Service Centre 1 Bridge Street East Benalla VIC 3671						
	Contact information: Phone (03) 5760 2600						
	Email: <u>council@benalla.vic.gov.au</u> DX: 32230						
	Deliver application in person, by post or by electronic lodger	nent.					

AREA SCHEDULE:	LE	GEND	GENERAL NOTES
SITE AREA (APPROX): 161969 m²	AC AA	· · · · · · · · · · · · · · · · · · ·	 USE FIGURED DIMENSIONS CHECK ALL DIMENSIONS
TOTAL BUILT AREA: 559.09 m ²	AC AD		 REFER SCHEDULE FOR DE REFER ANY DISCREPANCI
	AFV ALV	W ALUMINIUM FRAMED FIXED WINDOW	 ALL WORKS TO BE IN ACC AUSTRALIA, STANDARD BI
SITE COVER 0.35%	IZA VZA	D ALUMINIUM FRAMED SLIDING DOOR	 ALL STORM WATER DISCH ALL SEWER CONNECTION
REMAINING COVER 99.65% AREAS INCLUDE: PADS, PATHS,	BAI B/C	L BALUSTRADE/GRABRAIL	8. FOOIPATHS, KERBS AND MANAGER OF WORKS O
AREAS EXCLUDE: DRIVEWAY & CROSSOVER	BRM	M BROOM CUPBOARD	9. TERMITE PROTECTION TO INSPECTION ZONE PROV
DRAWING LIST	BTV CSI	D CAVITY SLIDING DOOR	ACHIEVED. 10. ALL FLOOR & WALL LININ
1 COVER SHEET 2 PARTIAL SITE & LOCALITY PLAN	CT D-H	IR DOUBLE HANGING RAIL (TO BUILDERS SPEC.)	211. CONTRACTOR RESPONSI
3 PARTIAL SITE PLAN	DP DR	Y DRYER MACHINE (LOCATION)	12. VERIFY THE LOCATION O 13. PROVIDE ALL NECESSAR
4 OVERALL FLOOR PLAN 5 DIMENSION FLOOR PLAN	DS DTR	DRAWER & SHELF UNIT (TO BUILDERS SPEC.) R DOUBLE TOWEL RAIL	14. THE EXTERIOR OF THE BUI PROVIDE ACCESS FOR P APPLICABLE VERSIONS C 16. DURING CONSTRUCTION
6 ADDITONAL DIMENSION PLAN 7 ELEVATIONS	DW FG		
8 ELEVATIONS	FW H-T		17 REFER TO SURVEY DRAW 18. REFER TO SERVICE ENGIN
9 ELEVATIONS 10 ELECTRICAL PLAN	H/U HW	/U HOT WATER UNIT (LOCATION)	19. VENTILATION, HYDRAULIO
11 SECTION A-A	MW MH	MICROWAVE (PROVISION)	20. REFER TO STRUCTURAL EN DETAILS, TIE DOWN DETA
12 BAL 19 NOTES 13 SCHEDULES	M-S NO	SD MIRROR SLIDING DOOR	21. EXCAVATE AS REQUIRED 22. LEVELS ARE TO BE CONFI
14 INTERNALS	OB OH	S OBSCURE GLAZING	 REINFORCED CONCRETE BED.
15 INTERNALS 16 INTERNALS	OH OH	IS OVERHEAD SHELF/VES	24. TREAT UNDER SLAB TO CU 25. ALL SLABS SHALL HAVE A
17 AREA & FINISHES PLAN	PD	PLUMBING DUCT	26. ALL HANDRAILS AND BAL 27. FOR ALL BALCONIES BAL
	RA REF	REFRIGERATOR (PROVISION)	28. PROTECTION OF OPENAL THE FLOOR LEVEL AND G
	RH RW	H RAINWATER HEAD (WITH DOWNPIPE)	OF THE WINDOW MUST B
	SH SD	SLIDING DOOR/S	29. ALL LOAD BEARING EXTE
	SH	SHOWER	BCA SPEC C1,1 - TABLE 3 30. SCREENS, BALUSTRADES,
	SH3	SPREADER (WITH DOWNPIPE)	150mm-760mm AFFL. 31. PROVIDE HEADROOM TO
	STR SU	SINGLE TOWEL RAIL SHELVING UNIT (TO BUILDERS SPEC.)	32. AT ALL TIMES COMPLY WI REQUIREMENTS OF THE D
	TRI BC	NG TOWEL RING C TO BE CONFIRMED	 SMOKE ALARMS TO BE PR ALL WET AREA WATERPRO
	TRH U/B	H OILET ROLLER HOLDER UNDER BENCH (LOCATION)	PROVISIONS 35. FLASH ALL PENETRATIONS
		UNDER MOUNT O UNDER BENCH OVEN	 FOR DOWNPIPE LOCATIC WORKSHOP DRAWINGS T
PROPOSED RESIDENCE AT	V-S	VANITY BASIN 5D VINYL SLIDING DOOR	
LOT 3 [LP 123087]	WB WC	WALL BASIN WATER CLOSET	
		M WASHING MACHINE (PROVISION) WALL OVEN (CABINETRY TOWER)	
NO 240Δ SBURY ROAD			
NO. 240 ASBURY ROAD		WASH TUB	
NO. 240 ASBURY ROAD LURG, VIC 3673		WASH TUB	
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ONS IN PREFERENCE TO SCALED.

IS ON SITE BEFORE FABRICATION OR BEFORE SETOUT.

DESCRIPTION OF CODES FOR FINISHES AND MATERIALS.

CIES TO WINK & CO PTY LTD. CCORDANCE WITH THE CURRENT AMENDMENTS OF BUILDING CODE OF BUILDING BY-LAWS 1975-1991, BUILDING ACT AMENDMENT ACT. HARGE TO BE IN ACCORDANCE WITH THE LOCAL AUTHORITIES REQUIREMENTS. ONS TO BE IN ACCORDANCE WITH THE LOCAL AUTHORITIES REQUIREMENTS. D CHANNEL AND ROAD PAVEMENT TO BE RECTIFIED TO THE SATISFACTION OF THE OF THE LOCAL AUTHORITY.

O BE ACHIEVED BY MONOLITHIC SLAB CONSTRUCTION, SLAB EDGE AND OVIDE TERMIMESH TO ALL AREAS WHERE INSPECTION ZONE CAN NOT BE

INGS CONTINUE UNDER AND BEHIND JOINERY ITEMS. ISIBLE FOR STRUCTURAL ADEQUACY OF FRAMING TO BULKHEADS.

OF EXISTING SERVICES AND PUBLIC UTILITIES PRIOR TO COMMENCEMENT. RY EXPANSION AND MOVEMENT JOINTS.

UILDING IS TO BE COMPLETELY WEATHERTIGHT AT COMPLETION. PEOPLE WITH DISABILITIES IN ACCORDANCE WITH REQUIREMENTS OF THE OF THE BCA.

IT IS THE BUILDER'S RESPONSIBILITY TO COMPLY WITH THE BCA PART E1.9.

WINGS AND ARCHITECTURAL DRAWINGS FOR BUILDING SETOUT. INEERS DRAWINGS FOR DETAILED INFORMATION RELATED TO MECHANICAL LIC, ELECTRIC, FIRE, AND SECURITY WORK. EER'S DRAWINGS FOR ROAD WORK LEVELS AND OTHER CIVIL WORK.

ENGINEER'S DRAWINGS FOR CONCRETE SLABS, FOUNDATION AND FOOTINGS AILS AND BEAM SIZES, ETC.

D, FALL PLATFORM AWAY FROM BUILDING, DRAIN ALL CUTS. FIRMED ON SITE

TE SLABS SHALL BE LAID OVER WATERPROOF MEMBRANE AND OVER 50mm SAND

CURRENT AUSTRALIAN STANDARDS. REFER ENGINEER'S DETAILS.

A MINIMUM WORKING TOLERANCE OF +/- 3mm IN 3000mm IN LEVEL. ALUSTRADES TO COMPLY WITH NCC PART 3.9.2

ALUSTRADE TO BE MIN. 1000mm ABOVE FINISHED FLOOR LEVEL

ABLE WINDOWS; WHERE AN OPENABLE WINDOW SILL IS LESS THAN 1.7m ABOVE

GREATER THAN 2m ABOVE THE OUTSIDE SURFACE BENEATH IT THE OPENING PART BE FITTED WITH A PROTECTION DEVICE OR SCREEN RESTRICTING THE WINDOW ANCE WITH THE BCA, PART D2.23.

TERNAL BALCONY COLUMNS TO ACHIEVE AN FRL NOT LESS THAN 90/-/- AS PER

S, PLANTERS OR AC UNITS MUST NOT FACILITATE CLIMBING BETWEEN

TO ALL STAIRS AND STAIRWELLS TO COMPLY WITH NCC FIG. 3.8.2.2

WITH BCA AND LOCAL BUILDING AUTHORITIES REQUIREMENTS. BUILDER TO SATISFY DA CONDITIONS.

PROVIDED IN ACCORDANCE WITH NCC SPECIFICATION 3.7.5.3 & 3.7.5.5 ROOFING TO BE CONSTRUCTED IN ACCORDANCE WITH THE NCC 2022 HOUSING

TIONS AND SIZES REFER TO HYDRAULIC ENGINEER'S DRAWINGS.

TO BE PROVIDED (JOINERY, RECON STONE BENCHTOPS AND SPLASHBACKS).

0.	ALL EXTERNAL STAIR TREADS OR NOSING ARE TO BE SLIP RESISTANT IN
	ACCORDANCE WITH BCA D2.13 AND TABLE D2.14 WHEN TESTED IN
	ACCORDANCE WITH AS4586.

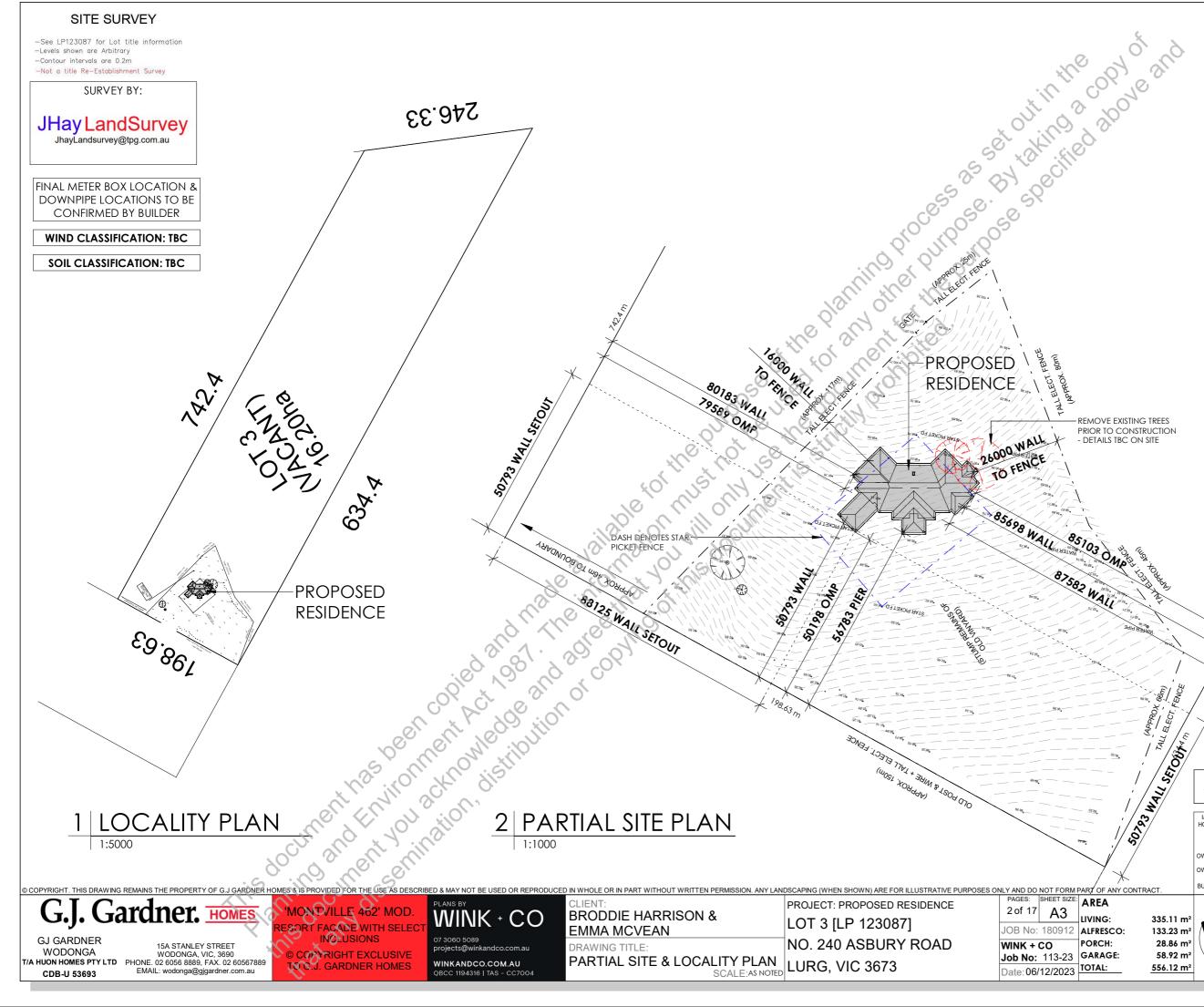
PROVIDE LIFT OFF HINGES TO WCS WHERE THE PAN IS LESS THAN 1200mm TO THE HINGE SIDE OF THE DOOR. PROVIDE MECHANICAL VENTILATION TO ALL LAUNDRIES AND OTHER

INTERNALISED BATHROOMS WITHOUT OPERABLE WINDOWS.

SCREENS AND BALUSTRADES AND AIR-CONDITIONING UNITS MUST NOT BE DESIGNED TO FACILITATE CLIMBING BETWEEN 150mm-760mm ABOVE FFL.

- WINDOWS TO BEDROOMS WITH AN OPENABLE PORTION LOCATED LESS THAN 1700mm FROM FLOOR LEVEL ARE TO BE PHYSICALLY RESTRICTED FROM OPENING MORE THAN 125mm OR BE PROTECTED BY A TESTED LOAD RESTRICTING SCREEN DEVICE (EG. SECURITY SCREEN) CAPABLE OF WITHSTANDING NO LESS THAN 250N.
- STAIRS TO HAVE A CONTINUOUS HANDRAIL ON ONE SIDE.

D PERSPECTIV IVE OF THE DV AND SHOULD TO FOR ACC S, DRIVEWAY ARTHWORKS	HOUSE FOR CONSTRUCT INCURE A PROCESSING	ON. A G FEE ANY	IN ADDITION TO THE COS FURTHER PLANS TO BE PF	D AFTER T OF THE REPARED.	SIGNING VARIATIO	WILL DN	
T OF ANY CONTRACT.		BUILDER SIGNED:			I	DATE:	
REA			REV	COMMENTS	DATE	DRWN	CKD
/ING:	335.11 m²		Α	WORKING DRAWINGS	06/12/23	ACG	EK
FRESCO:	133.23 m ²		В	AMENDMENTS	18/12/23	ACG	ΕK
ORCH:	28.86 m ²		С				
ARAGE:	58.92 m ²		D				
			E				
TAL:	<u>556.12 m²</u>	4	F				
			G				



AREA SCHEDULE:

SITE AREA (APPROX): 161969 m² TOTAL BUILT AREA: 559.09 m²

SITE COVER

0.35%

REMAINING COVER 99.65% AREAS INCLUDE: PADS, PATHS,

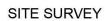
AREAS EXCLUDE: DRIVEWAY & CROSSOVER

NOTES

- GROUND LEVELS, FINISHED FLOOR LEVELS, SITE WORKS & RETAINING ARE INDICATIVE ONLY & ARE TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION. SITE PLANS ARE TO BE READ IN CONJUNCTION WITH ANY SURVEY/ENGINEERING PLANS AVAILABLE.
- ALL DIMENSIONS ARE TO BE CHECKED WITH EXISTING AND PROPOSED SITE CONDITIONS.
- WRITTEN DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED
- NO VARIATION MAY BE MADE TO THESE DRAWINGS WITHOUT THE PRIOR APPROVAL OF THE BUILDING DESIGNER
- REFER TO ENGINEERS DESIGN, DOCUMENTATION & CALCULATION FOR DETAILS ON SLAB, FOOTINGS, STRUCTURE, RETAINING WALLS, FINISHED FLOOR LEVELS, SITEWORKS & STORMWATER DETAILS.
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS SHEETS, CONSULTANTS DRAWINGS, DOCUMENTS, SCHEDULES AND SPECIFICATIONS (AS APPLICABLE).
- THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES & THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING &/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING & UNDERMINING OF ANY BUILDING & ITS FOOTING SYSTEM.
- LOCATION OF ALL EXISTING ONSITE SERVICES TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION

20.06							
/ _ //	WALL SETO	BAL: 19 ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC REQUIREMENTS & AS. 3959-2018					
50202		HOUSE FOR CONSTRUCT INCURE A PROCESSIN	ION. / G FEE	ANS AND AGREE THEY ACC ANY VARIATION REQUESTE E IN ADDITION TO THE COS FURTHER PLANS TO BE PF	D AFTER T OF THE	SIGNING	WILL
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OF ANY CONTR	RACT.	BUILDER SIGNED:			I	DATE:	
REA			REV	COMMENTS	DATE	DRWN	CKD
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RCH:	28.86 m²		C				
ARAGE:	58.92 m²		E				
TAL:	556.12 m²		F				
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- NOTES GROUND LEVELS, FINISHED FLOOR LEVELS, SITE WORKS & RETAINING ARE INDICATIVE ONLY & ARE TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION. SITE PLANS ARE TO BE READ IN CONJUNCTION WITH ANY SURVEY/ENGINEERING PLANS AVAILABLE.
- ALL DIMENSIONS ARE TO BE CHECKED WITH EXISTING AND PROPOSED SITE CONDITIONS. WRITTEN DIMENSIONS TO BE TAKEN IN PREFERENCE TO
- SCALED
- NO VARIATION MAY BE MADE TO THESE DRAWINGS WITHOUT THE PRIOR APPROVAL OF THE BUILDING DE REFER TO ENGINEERS DESIGN, DOCUMENTATION &
- CALCULATION FOR DETAILS STRUCTURE, RETAINING WAL SITEWORKS & STORMWATER
- THIS DRAWING IS TO BE REA OTHER DRAWINGS SHEETS, C DOCUMENTS, SCHEDULES A APPLICABLE).
- THE BUILDER AND SUBCONTR STORMWATER DRAINS, SEWE LOCATED AT A SUFFICIENT D FOOTING &/OR SLAB EDGE GENERAL MOISTURE PENETR & UNDERMINING OF ANY BU LOCATION OF ALL EXISTING CONFIRMED ON SITE PRIOR



GJ GARDNER WODONGA T/A HUON HOMES PTY LTD CDB-U 53693 HONE 02 6056 8889, FAX. 02 60567889 EMAIL: wodonga@jgardner.com.au	MO OVILLE 462' MOD. ESORT FAC OLE WITH SELECT INOLUSIONS O CONDICHT EXCLUSIVE OT 3060 5089 projects@winkandco.com.au	RODDIE HARRISON & LO MMA MCVEAN NC RAWING TITLE: NC	PAGES:SHEET SIZE:AREA3 of 173 of 17A3JOB NO:123087]JOB NO:180912JOB NO:240 ASBURY ROADWINK + COPORCGARAJob NO:113-23GARADate:06/12/2023TOTAL
WIND CLASSIFICATION: TBC SOIL CLASSIFICATION: TBC	ES & IS PROVIDED FOR THE USE AS DESCRIBED & MAY NOT BE USED OR REPRODUCED IN M	WHOLE OR IN PART WITHOUT WRITTEN PERMISSION. ANY LANDSCAP	NG (WHEN SHOWN) ARE FOR ILLUSTRATIVE PURPOSES ONLY AND DO NOT FORM PART OF
FINAL METER BOX LOCATION & DOWNPIPE LOCATIONS TO BE CONFIRMED BY BUILDER	96.36%	32°96×	×94.32
JHayLandSurvey JhayLandsurvey@tpg.com.au	DENOTES STAR PICKET POIL	DRMWATER TO LEGAL INT OF DISCHARGE	
-Levels shown are Arbitrary -Contour intervals are 0.2m -Not a title Re-Establishment Survey SURVEY BY:	Posta Maline SE:96 x	≠9·\$6×	
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LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING &/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING & UNDERMINING OF ANY BUILDING & ITS FOOTING SYSTEM. LOCATION OF ALL EXISTING ONSITE SERVICES TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION	×	· · · · · · · · · · · · · · · ·	STAR PICKET RD
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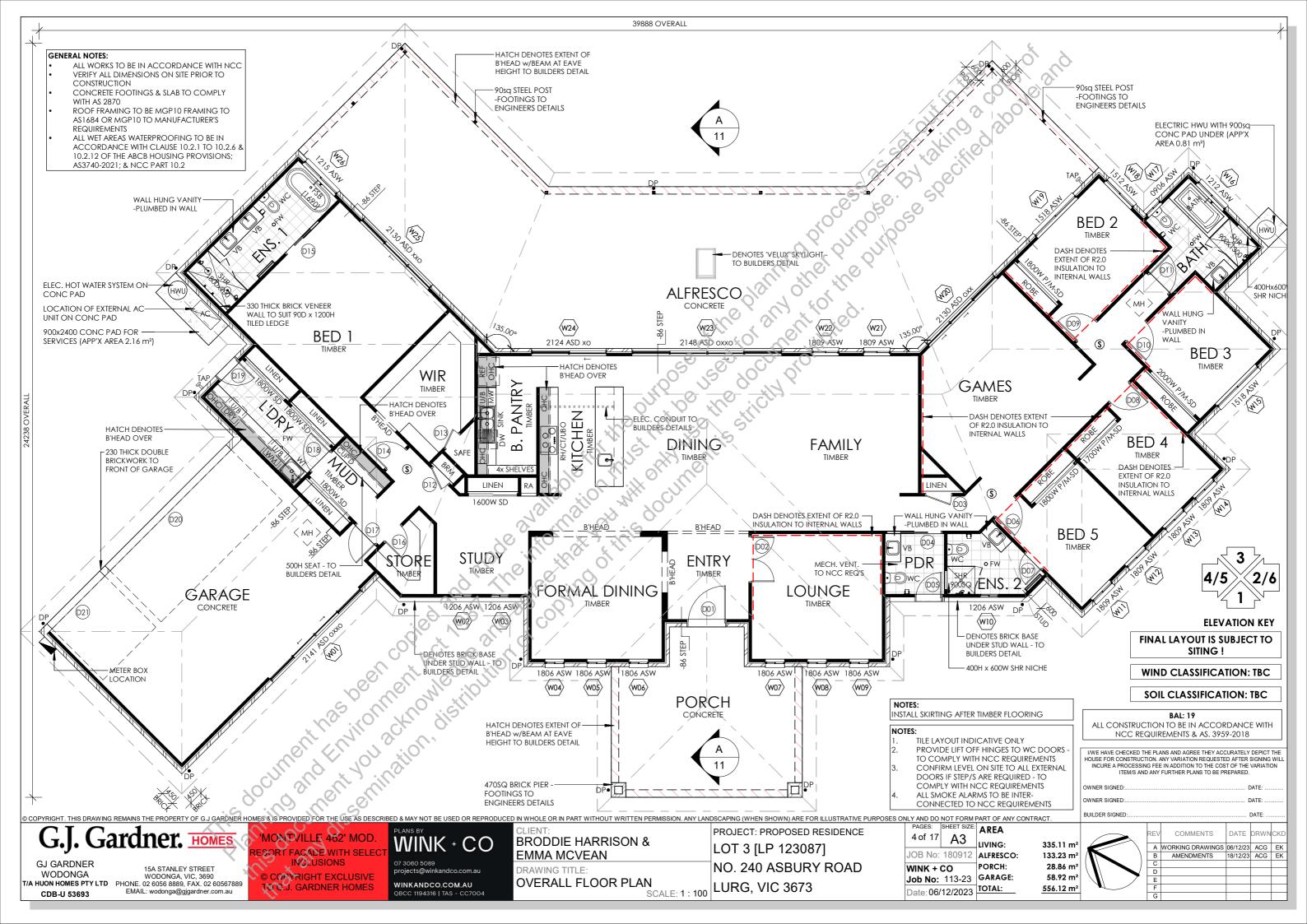
with the opy of the AREA SCHEDULE: 1. 200Ve 2nd SITE AREA (APPROX): 161969 m² TOTAL BUILT AREA: 559.09 m² SITE COVER 0.35% **REMAINING COVER** 99.65% AREAS INCLUDE: PADS, PATHS, AREAS EXCLUDE: DRIVEWAY & CROSSOVER TALL ELECTRICAL FENCE ELECTRIC HWU WITH 900sq Jala 25207 WALL TO FENCE Jala 25207 WALL TO FENCE Jala Jag 396. 26000 WALL TO FENCE CONC PAD UNDER (APP'X 26[.]96× 99[.]96× -STORMWATER TO LEGAL 54[.]96× POINT OF DISCHARGE of STAR.WALL 11:96× TOSTAKE 29[.]†6, ₽8[.]₽6× 1851 MAIL STAKE 82°¢6× JUL AJUS BAL: 19 ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC REQUIREMENTS & AS. 3959-2018 IWE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATION REQUESTED AFTER SIGNING WILL INCURE A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED. OWNER SIGNED DATE: OWNER SIGNED DATE: BUILDER SIGNED DATE: OF ANY CONTRACT REA DATE DRWNCK COMMENTS ING: 335.11 m² A WORKING DRAWINGS 06/12/23 ACG EK FRESCO: 133.23 m² В AMENDMENTS 18/12/23 ACG EK RCH: 28.86 m² ARAGE: 58.92 m² 556.12 m² TAL:

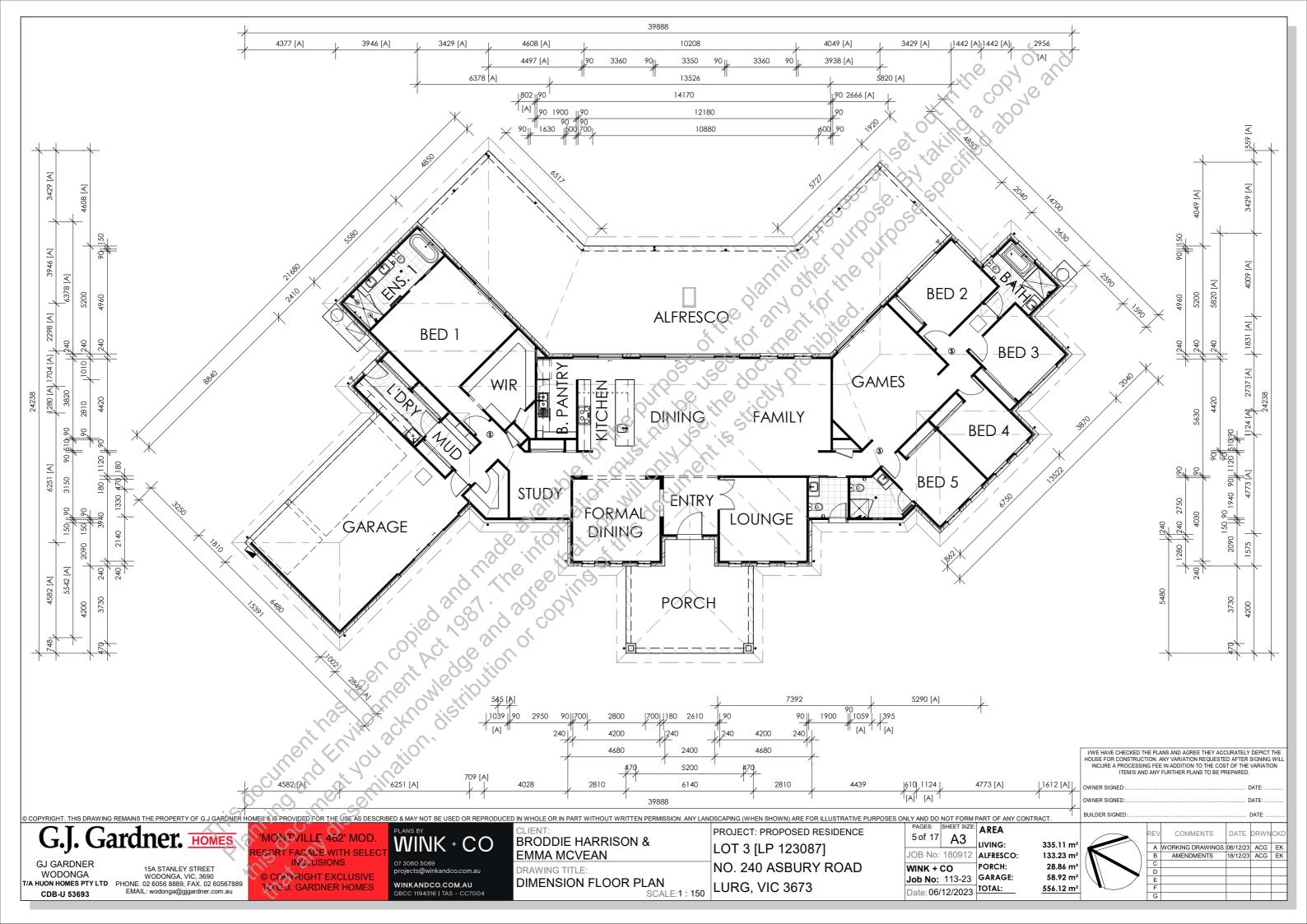
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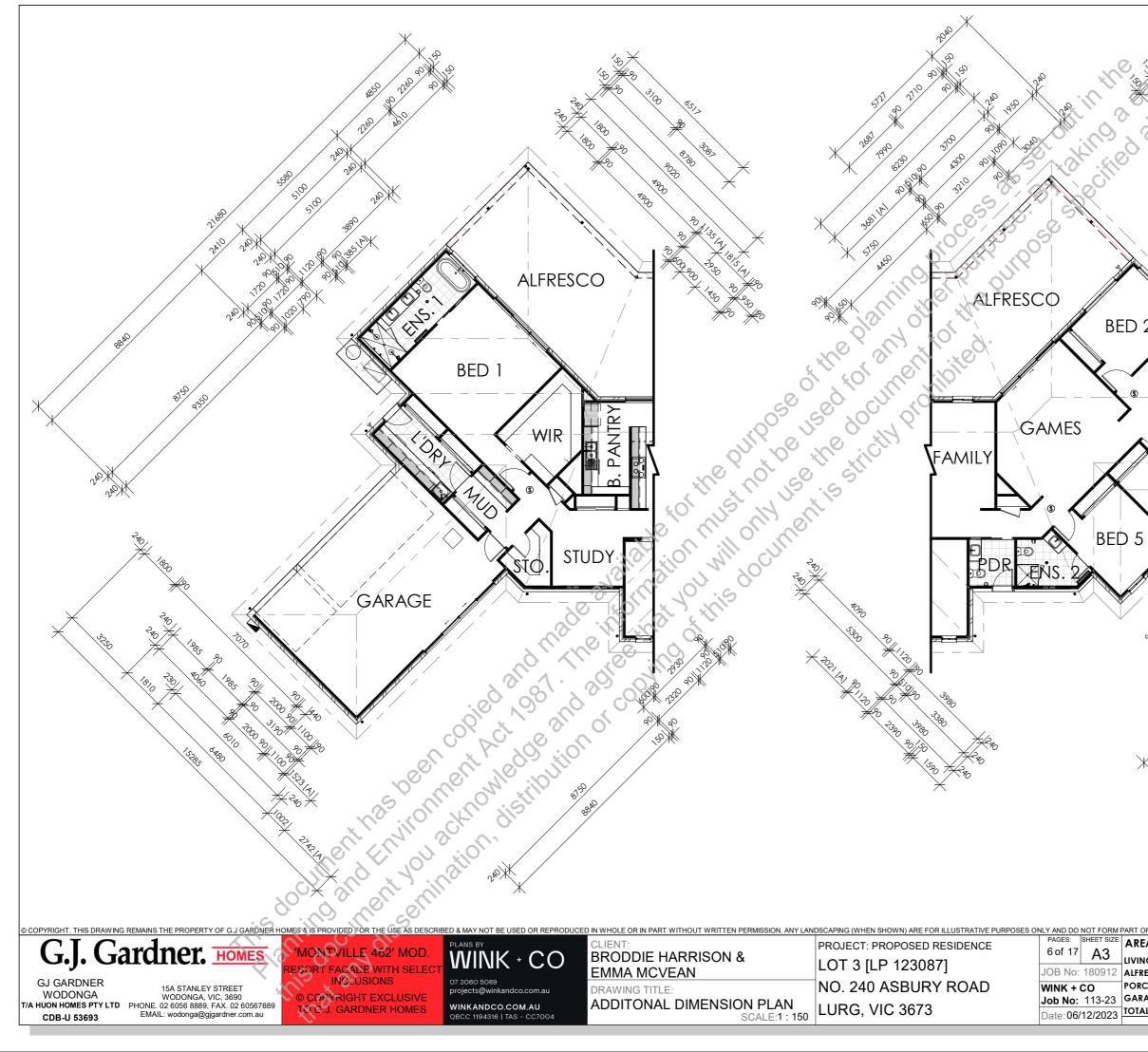
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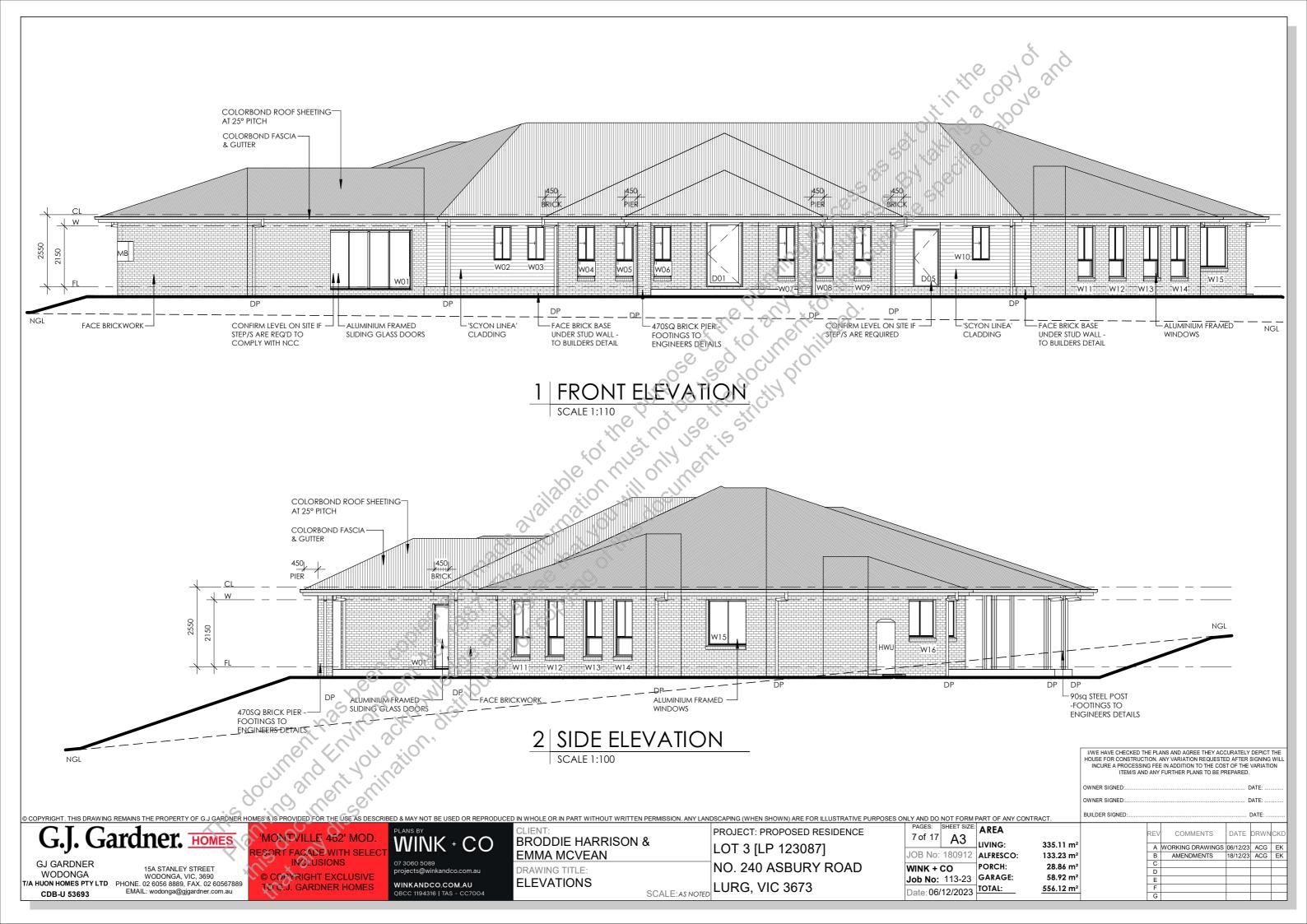
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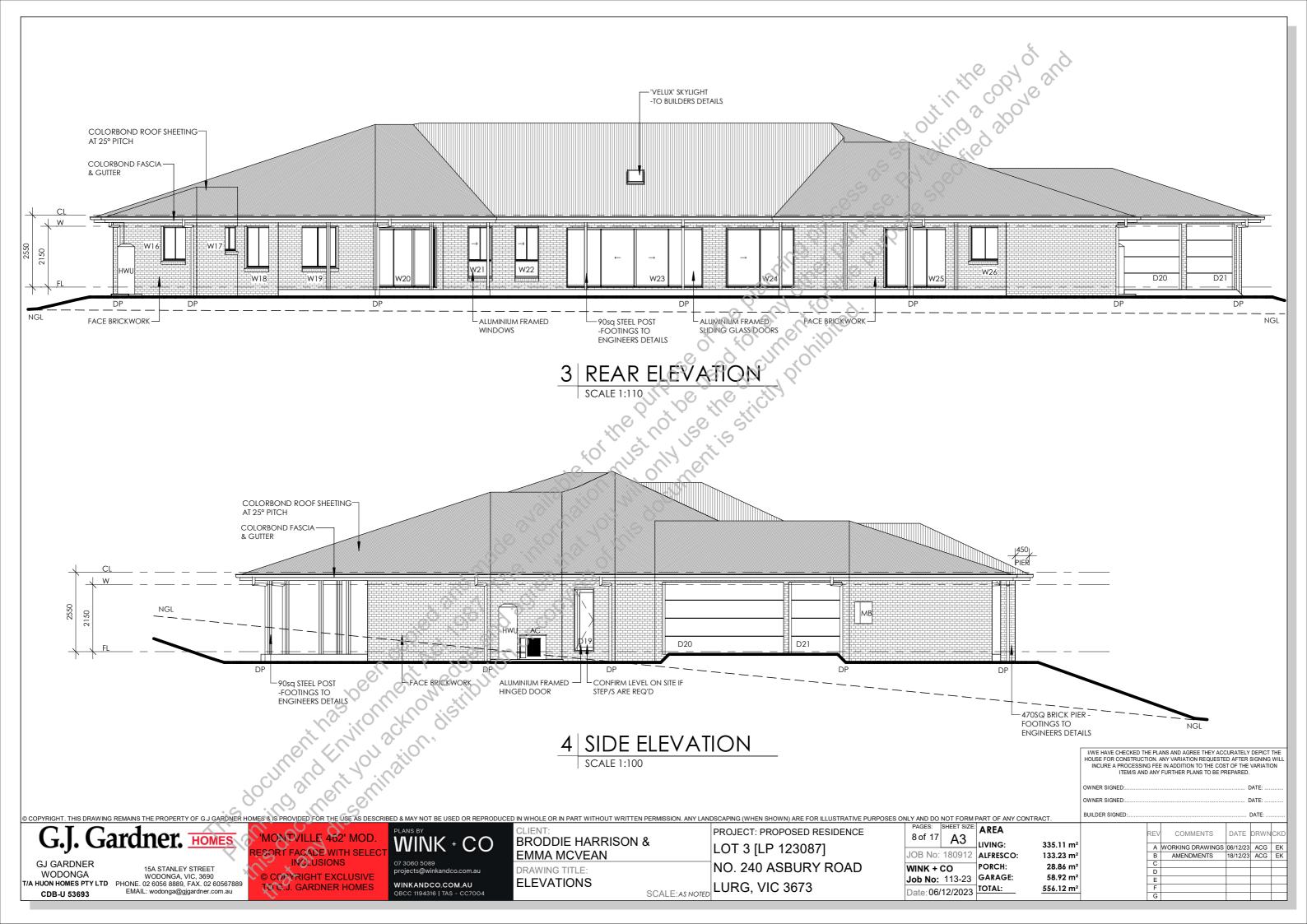


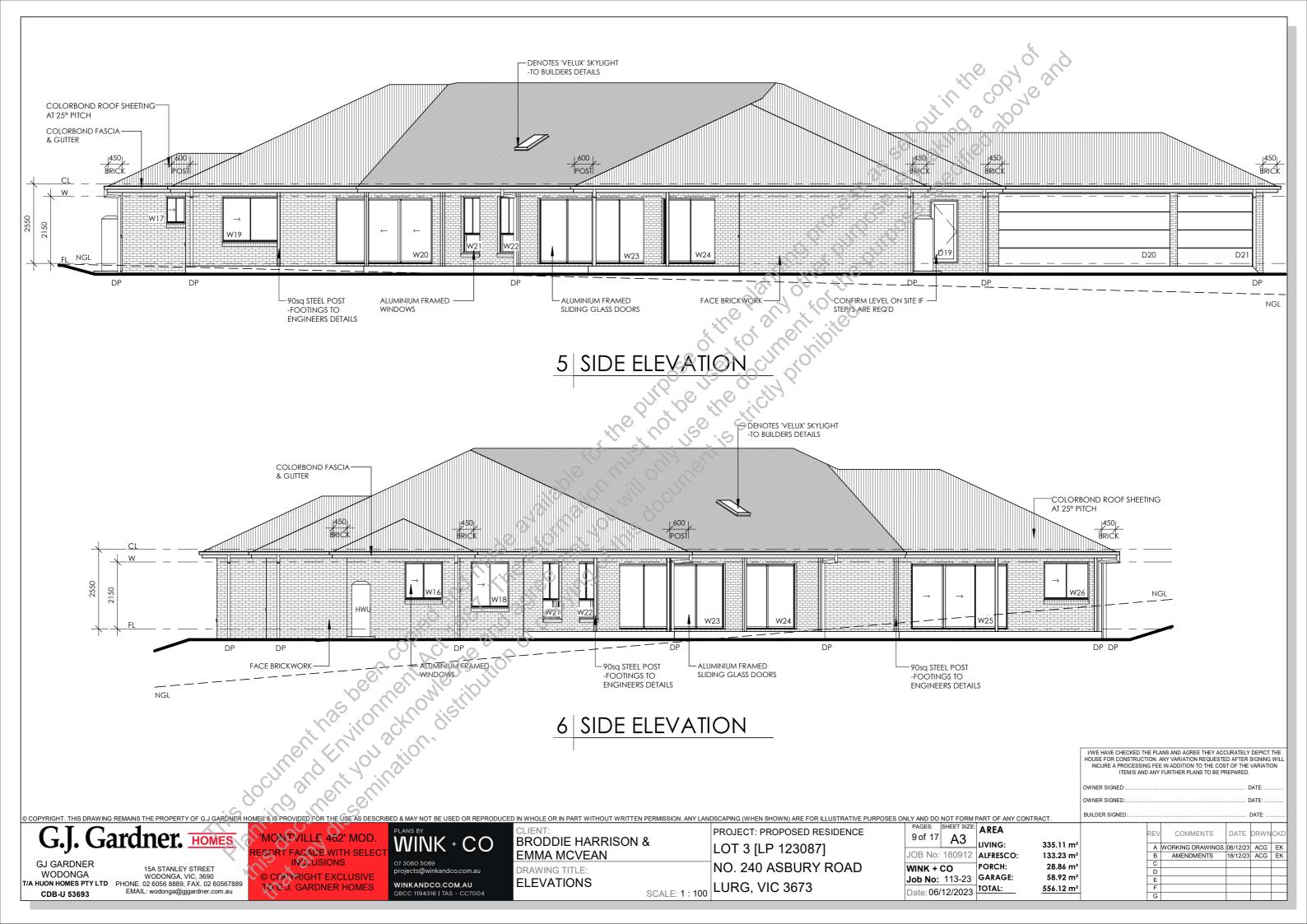


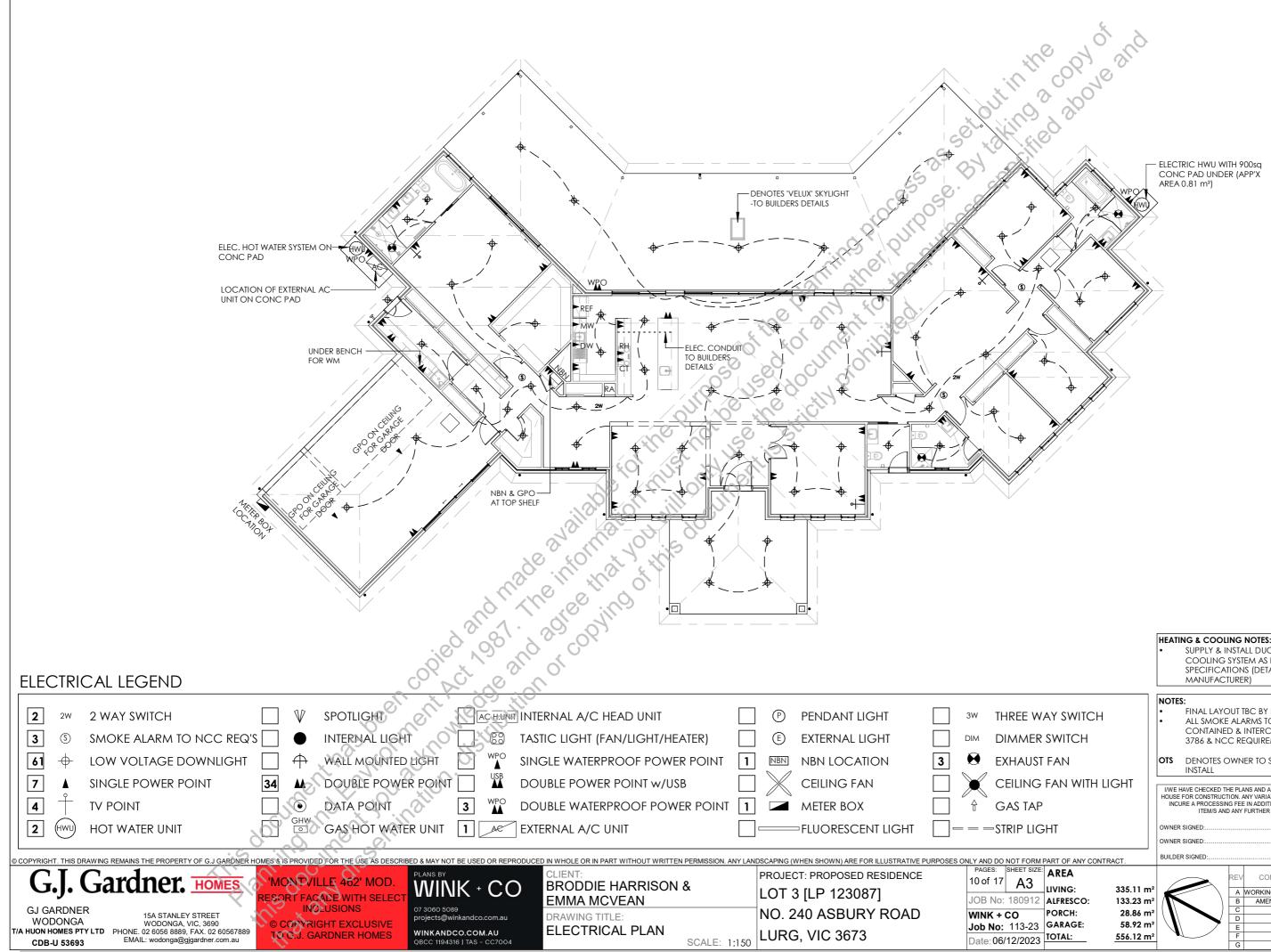


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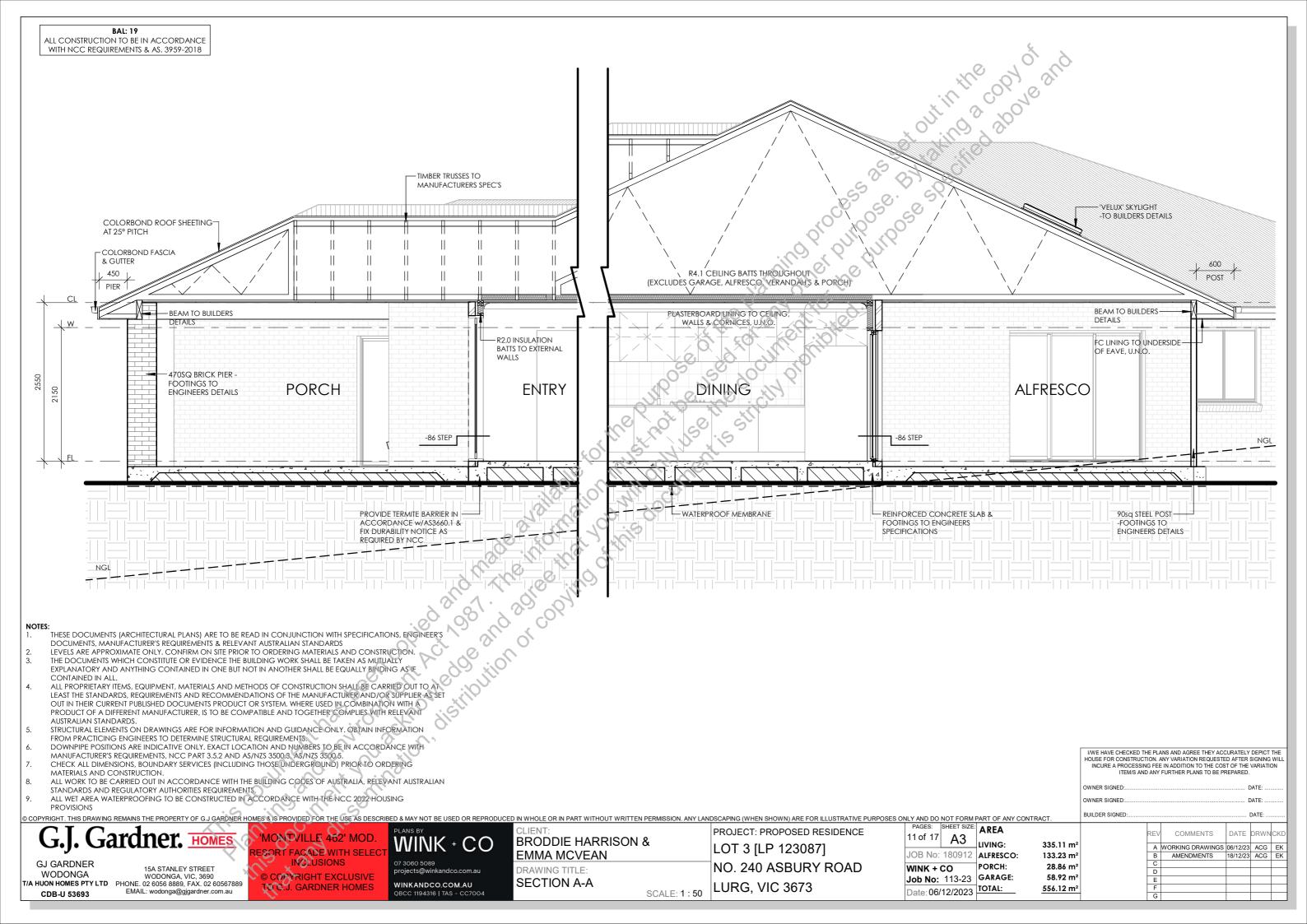








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BAL REQUIREMENTS 19

	BUILDIN		BAL 19 REQUIREMENTS	BUIL	DING ELEMENTS		BAL 19 REQUIREMENTS	5
	TILE	ED ROOF	FULLY SARKED (FLAMMABILITY INDEX <5) INSTALLED DIRECTLY BELOW TILE BATTENS MUST COVER ENTIRE ROOF AREA, INCLUDING RIDGE & BE INSTALLED SO THAT THERE ARE GAPS WHERE SARKING MEETS FASCIA, GUTTERS, VALLEYS & THE LIKE. 		AL HINGED DOORS	BEHIND BUSH-FIRE SHUTTERS OR EXTE NON-COMBUSTIBLE MATERIA IF SOLID TIMBER, MIN 35mm J IF FULLY FRAMED GLAZED DC COMBUSTIBLE MATERIAL OR	LS THICK FOR <400mm ABOV DOR (GLAZING AS PER WII	VE THR
	SHE	et roof	FULLY SARKED (FLAMMABILITY INDEX <5) INSTALLED DIRECTLY BELOW BATTENS • FOIL-BACKED INSULATION BLANKETS MAY BE INSTALLED OVER BATTENS • GAPS GREATER THAN 3mm TO BE SEALED BY: A.MESH WITH MAX. 2mm APERTURE, MADE OF CORROSION RESISTANT STEEL OR BRONZE B.MINERAL WOOL C.OTHER NON-COMUSTIBLE MATERIAL D.COMBINATION OF ABOVE ITEMS			ALL FRAMES TO BE METAL OR ALL FRAMES TO BE METAL OR ALL HARDWARE TO BE METAL OR DOORS SHALL BE TIGHT-FITTIN WEATHER STRIPS DRAUGHT E EXTERNAL DOORS	R BUSHFIRE-RESISTING TIMB	BER OR
	FASCIA &	BARGEBOARDS	BUSH-FIRE RESISTING TIMBER, OR METAL (TO BE FIXED AT 450 CENTRES)	DOORS	VEHICLE ACCESS	THE FOLLOWING APPLY TO VEHICLE	ACCESS DOORS	
	EAVE	es linings	FIBRE-CEMENT SHEET MINIMUM 4.5mm THICKNESS		DOORS	ALL DOORS SHALL BE NON-C PANEL LIFT, TILT DOORS OR S	COMBUSTIBLE OR BUSH-FIR	
	WI	NDOWS	BEHIND BUSH-FIRE SHUTTERS (COMPLETELY PROTECTED), OR ALL FRAMES, JOINERY & HARDWARE TO BE METAL ALL FRAMES & JOINERY TO BE BUSH-FIRE RESISTING TIMBER ALL GLAZING TO BE 5mm TOUGHENED GLASS ALL FRAMES & JOINERY TO BE METAL-REINFORCED PVC-U		of the ra	STRIPS, DRAUGHT EXCLUDERS NOT GREATER THAN 3mm ROLLER DOOR SHALL HAVE (SHALL BE FITTED WITH A NYLC NO VENTILATION VENTS	GUIDE TRACKS WITH A MA	AX. GA
				FLOORS FLOORING		ENSURE EXTERNAL WALL IS BAL 19 C	Ompliant as noted pre	VIOUS
				JOISTS		ALL MATERIALS SHALL BE NON-COM	BUSTIBLE OR BUSH-FIRE RE	SISTIN
				DECKING RAMPS ET		ENSURE EXTERNAL WALL IS BA	AL 19 COMPLIANT AS NOT	ED PR
	EXTERNAL	SLIDING DOORS	BEHIND BUSH-FIRE SHUTTERS OR EXTERNAL SCREENS (COMPLETELY PROTECTED), OR • ALL FRAMES & HARDWARE TO BE METAL • ALL GLAZING TO BE 5mm TOUGHENED GLASS • ALL FRAMES TO BE FIRE-RESISTING TIMBER	St Que	UNENCLOSED	ALL MATERIALS SHALL BE NON-COM		
			ALL FRAMES TO BE METAL-REINFORCED PVC-U SLIDING DOORS SHALL BE TIGHT-FITTING IN THE FRAMES		0	ALL MATERIALS STALL BE NON-COM	BOSTIBLE OK BOSTI-LIKE KE	3131 AI
	EXTERNAL WALLS	LIGHTWEIGHT CLADDING	ANY CLADDING FIXED EXTERNALLY TO A FULLY-SARKED TIMBER OR STEEL FRAMED WALL TO BE • FIBRE-CEMENT MIN 6mm THICKNESS • NON-COMBUSTIBLE MATERIALS • BUSHFIRE-RESISTING TIMBER • COMBINATION OF ABOVE ITEMS	S C OT	ADES, HANDRAILS & HER BARRIERS	ALL MATERIALS SHALL BE NON-COM		
		BRICK	90mm MINIMUM THICKNESS	ROOF PE	NETRATIONS & VENTS	ANY PENETRATING PIPE OF C	CONDUIT SHALL BE NON-C	COMBL
		FRAMING JOINTS	NOT REQUIRD ALL EXTERNAL SURFACE JOINTS SHALL BE COVERED, SEALED, OVERLAPPED, BACKED OR BUTT-			ALL GLAZED ASSEMBLIES FOR EMBER GUARDS SHALL BE FIT CARS & Second Strategy (Constraint)	TED	
			JOINTED TO PREVENT GAPS GREATED THAN 3mm.			GAPS >3mm TO BE SEALED V	WITH INOIN-COMBUSTIBLE N	NATER
		VENTS & WEEPHOLES	ALL GAPS WIDER THAN 3mm TO BE SCREENED WITH MESH WITH MAX 2mm APERTURE, MADE OF CORRSION-RESISTANT STEEL OR BRONZE, UNLESS IN EXTERNAL WALL OF SUBFLOOR SPACE.	GUTTER	RS & DOWNPIPES	DOWNPIPES - NR ALL GUTTERS & ASSOCIATED HARDW	VARE TO BE NON-COMBUS	STIBLE
		docum	DED FOR THE USE AS DESCRIBED & MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRIT					
GHT. THIS DRAWING REMAINS THE PROPER	TY OF G.J GAPDN	IER HOMES & IS PROV		TEN PERMISSION. ANY			ONLY AND DO NOT FORM PAR	
J. Gardner.	HOMES	CON CO	VILLE 452' MOD. WINK + CO EMMA MOVEAN	N &		ROPOSED RESIDENCE P 123087]	12 of 17 A3	VING:
		DECODIE	ACADE WITH SELECT UNIT OF THE FMMA MOVEAN				IOB No: 180912 AL	

G.J. Ga	ardner. Homes	
GJ GARDNER WODONGA T/A HUON HOMES PTY LTD CDB-U 53693	15A STANLEY STREET WODONGA, VIC, 3690 PHONE. 02 6056 8889, FAX. 02 60567889 EMAIL: wodonga@gjgardner.com.au	© COVRIGE TXCC.J. GAR

LE 462' MOD. DE WITH SELECT JSIONS 07 3060 5089 proiects@winkandco.com.au © CONRIGHT EXCLUSIVE WINKANDCO.COM.AU

QBCC 1194316 | TAS - CC7004

CLIENT:		PROJECT: PROPOSED RESIDENCE			
BRODDIE HARRISON	č.	LOT 3 [LP 123087]			
DRAWING TITLE:		NO. 240 ASBURY ROAD			
BAL 19 NOTES	SCALE.	LURG, VIC 3673			
	SCALE.				

12 of 17 A3 JOB No: 180912 A WINK + CO Job No: 113-23 G Date: 06/12/2023 TO

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/INDOWS) WITH FRAMING MADE OF NON- BER.
IBER OR METAL REINFORCED PVC-U
AN ABUTTING DOOR, IF APPLICABLE BE INSTALLED AT THE BASE OF ALL
RE RESISTING TIMBER. LL BE FITTED WITH SUITABLE WEATHER E TO THE DOOR TYPE, WITH A GAP
AX. GAP NO GREATER THAN 3mm & NTACT WITH THE DOOR.
EVIOUSLY
esisting timber
DTED PREVIOUSLY
ESISTANT TIMBER
ESISTANT TIMBER
NON-COMBUSTIBLE EMBER GUARDS
COMBUSTIBLE OOF PITCH IS <18°, NON-COMBUSTIBLE
MATERIAL
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		HOUSE FOR CONSTRUCTION, ANY VARIATION REQUESTED AFTER SIGNING WILL INCURE A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEMIS AND ANY FURTHER PLANS TO BE PREPARED.							
		OWNER SIGNED:		DATE:					
		OWNER SIGNED:			C	DATE:			
RT OF ANY CONTR	RACT.	BUILDER SIGNED:			I	DATE:			
REA			REV	COMMENTS	DATE	DRWN	CKD		
VING:	335.11 m²		A	WORKING DRAWINGS	06/12/23	ACG	ΕK		
LFRESCO:	133.23 m ²		В	AMENDMENTS	18/12/23	ACG	ΕK		
ORCH:	28.86 m²		C						
ARAGE:	58.92 m²		D						
DTAL:	556.12 m ²		F						
			G						

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE

DOOR SCHEDULE

WINDOW SCHEDULE

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NO. 01		LOCATION GARAGE	HEIGHT 2100	4090	HEAD HT (TBC) 2100		COMMENTS	NO.	LOCATION ENTRY	HEIGHI
01	2141 ASD oxxo 1206 ASW	STUDY	1200	4090 610	2100	4 PANEL BI-PARTING SLIDING DOOR oxxo STANDARD SLIDING WINDOW		01	LOUNGE	2340
03	1206 ASW	STUDY	1200	610	2150	STANDARD SLIDING WINDOW		03	LINEN	2340
04	1806 ASW	FORMAL DINING	1800	610	2150	STANDARD SLIDING WINDOW		04	PDR	2340
05	1806 ASW 1806 ASW	FORMAL DINING FORMAL DINING	1800	610 610	2150 2150	STANDARD SLIDING WINDOW STANDARD SLIDING WINDOW		05	PDR BED 5	2040 2340
07	1806 ASW	LOUNGE	1800	610	2150	STANDARD SLIDING WINDOW		08	ENS. 2	2340
08	1806 ASW	LOUNGE	1800	610	2150	STANDARD SLIDING WINDOW		08	BED 4	2340
09	1806 ASW	LOUNGE	1800	610	2150	STANDARD SLIDING WINDOW		09	BED 2	2340
10	1206 ASW	ENS. 2	1200 1800	610 850	2150 2150			10	BED 3	2340 2340
11	1809 ASW 1809 ASW	BED 5 BED 5	1800	850	2150	STANDARD SLIDING WINDOW STANDARD SLIDING WINDOW			BATH BRM	2340
13	1809 ASW	BED 4	1800	850	2150	STANDARD SLIDING WINDOW		1300	SAFE	1640
14	1809 ASW	BED 4	1800	850	2150	STANDARD SLIDING WINDOW		14	GBED 1	2340
15	1518 ASW	BED 3	1457	1810	2150	STANDARD SLIDING WINDOW	143	15	ENS. 1	2340
16 17	1212 ASW 0906 ASW	BATH BATH	1200 857	1210 610	2150 2150	STANDARD SLIDING WINDOW STANDARD SLIDING WINDOW	A 40		STORE GARAGE	2340 2340
18	1512 ASW	BED 2	1457	1210	2150	STANDARD SLIDING WINDOW	0.0	18	L'DRY	2340
19	1518 ASW	BED 2	1457	1810	2150	STANDARD SLIDING WINDOW	5.0	19	L'DRY	2040
20	2130 ASD oxx	GAMES	2100	3084	2100	3 PANEL STACKER SLIDING DOOR oxx	6 3 3	20	CARACE	0200
21 22	1809 ASW 1809 ASW	ALFRESCO FAMILY	1800	850 850	2150 2150	STANDARD SLIDING WINDOW STANDARD SLIDING WINDOW		20	GARAGE	2320
23	2148 ASD oxxo	DINING	2100	4810	2100	4 PANEL BI-PARTING SLIDING DOOR oxxo	0, 0, 10	21	GARAGE	2320
24	2124 ASD xo	KITCHEN	2100	2410	2100	2 PANEL SLIDING DOOR xo				
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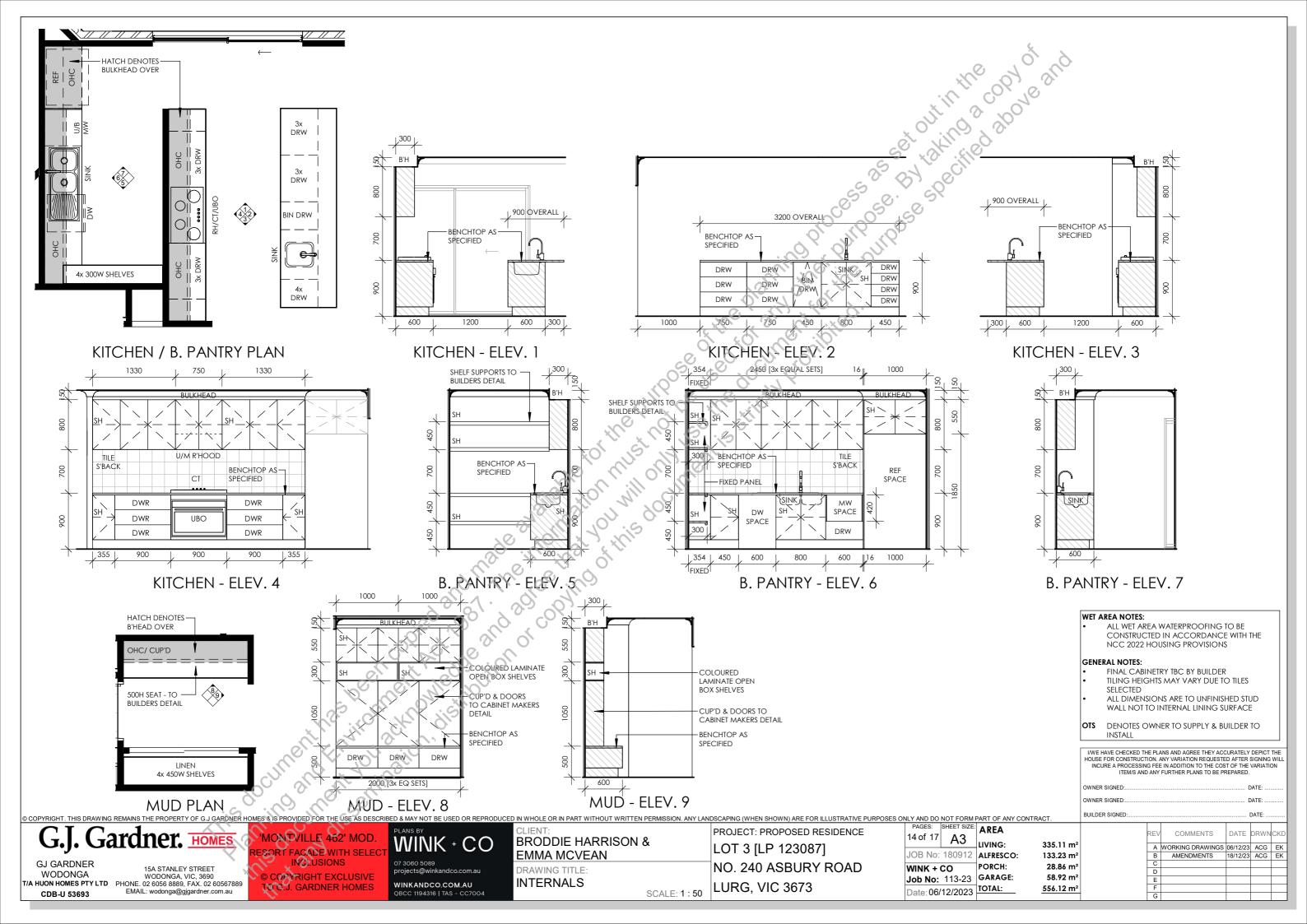
DOOR SCH	EDULE	HEIGHT 2340 2340	ed 2001e	and
NO.	LOCATION	HEIGHT	WIDTH	DESCRIPTION
01	ENTRY	2340	1200	1200 ENTRY HINGED DOOR [HUME JST-1 W/ CLEAR GLAZING]
02	LOUNGE	2340	1440	2x 720 HINGED DOORS
03	LINEN O	2340	820	820 HINGED DOOR
04	PDR	2340	870	870 HINGED DOOR
05	PDR	2040	820	820 SOLID CORE HINGED DOOR - RATED TO BAL 19
06	BED 5	2340	870	870 HINGED DOOR
07	ENS. 2	2340	720	720 HINGED DOOR
08	BED 4	2340	870	870 HINGED DOOR
09	BED 2	2340	870	870 HINGED DOOR
10	BED 3	2340	870	870 HINGED DOOR
1.	BATH	2340	870	870 HINGED DOOR
02 (BRM	2340	720	720 HINGED DOOR
1300	SAFE	1640	620	620 HINGED DOOR - HEIGHT TBC ON SITE
34	BED 1	2340	870	870 HINGED DOOR
15	ENS. 1	2340	720	720 CAVITY SLIDING DOOR
16	STORE	2340	720	720 HINGED DOOR
17	GARAGE	2340	870	870 HINGED DOOR
18	L'DRY	2340	870	870 HINGED DOOR
19	L'DRY	2040	820	820 ALUMINIUM FRAMED GLASS HINGED DOOR - SINGLE GLAZING & RATED TO BAL 19
20	GARAGE	2320	5500	SELECTED AUTO PANEL LIFT DOOR w/ EMBASEALS & RATED TO BAL 19
21	GARAGE	2320	2400	SELECTED AUTO PANEL LIFT DOOR w/ EMBASEALS & RATED TO BAL 19

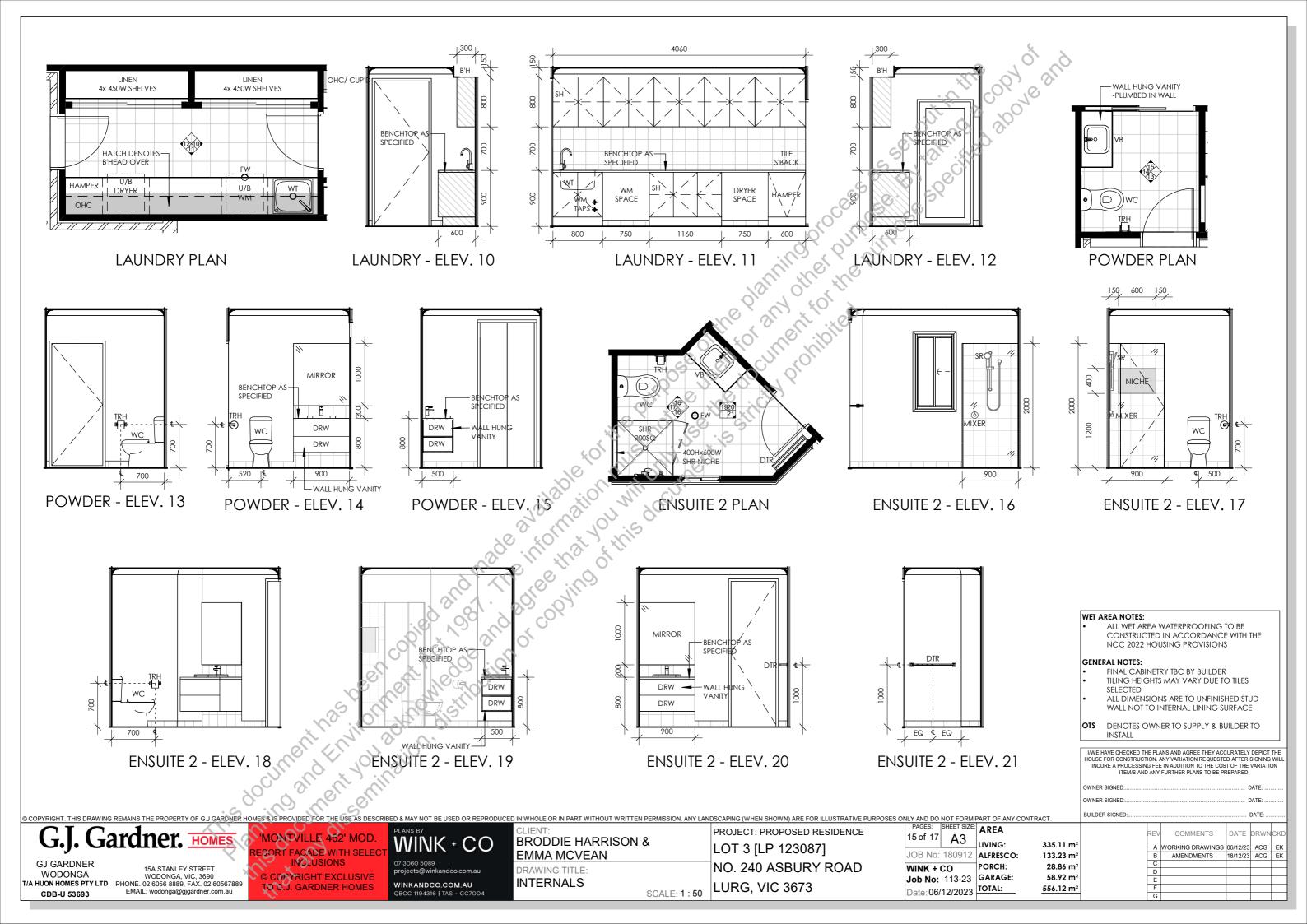


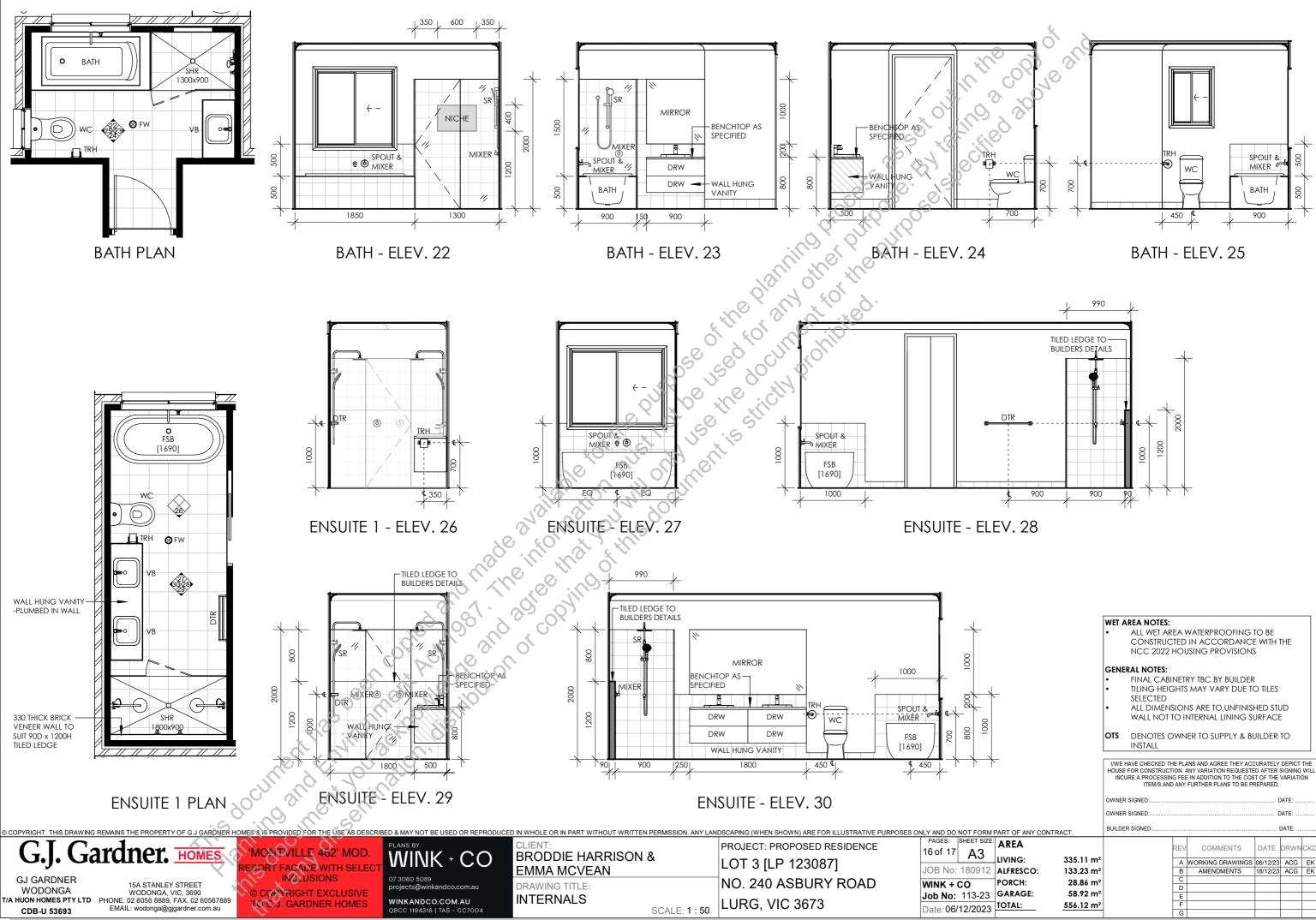
IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION. ANY LAN	DSCAPING (WHEN SHOWN) ARE FOR ILLUSTRATIVE PURPOSES OF	NLY AND DO N	OT FORME	PARIO
	PROJECT: PROPOSED RESIDENCE	PAGES: S		ARE
BRODDIE HARRISON & EMMA MCVEAN	LOT 3 [LP 123087]	JOB No: 1		
		JOB NO.		
DRAWING TITLE:		WINK + C		PORC
SCHEDULES		Job No:	110-20	GARA
SCALE:	LURG, VIC 3673	Date: 06/1	2/2023	TOTA



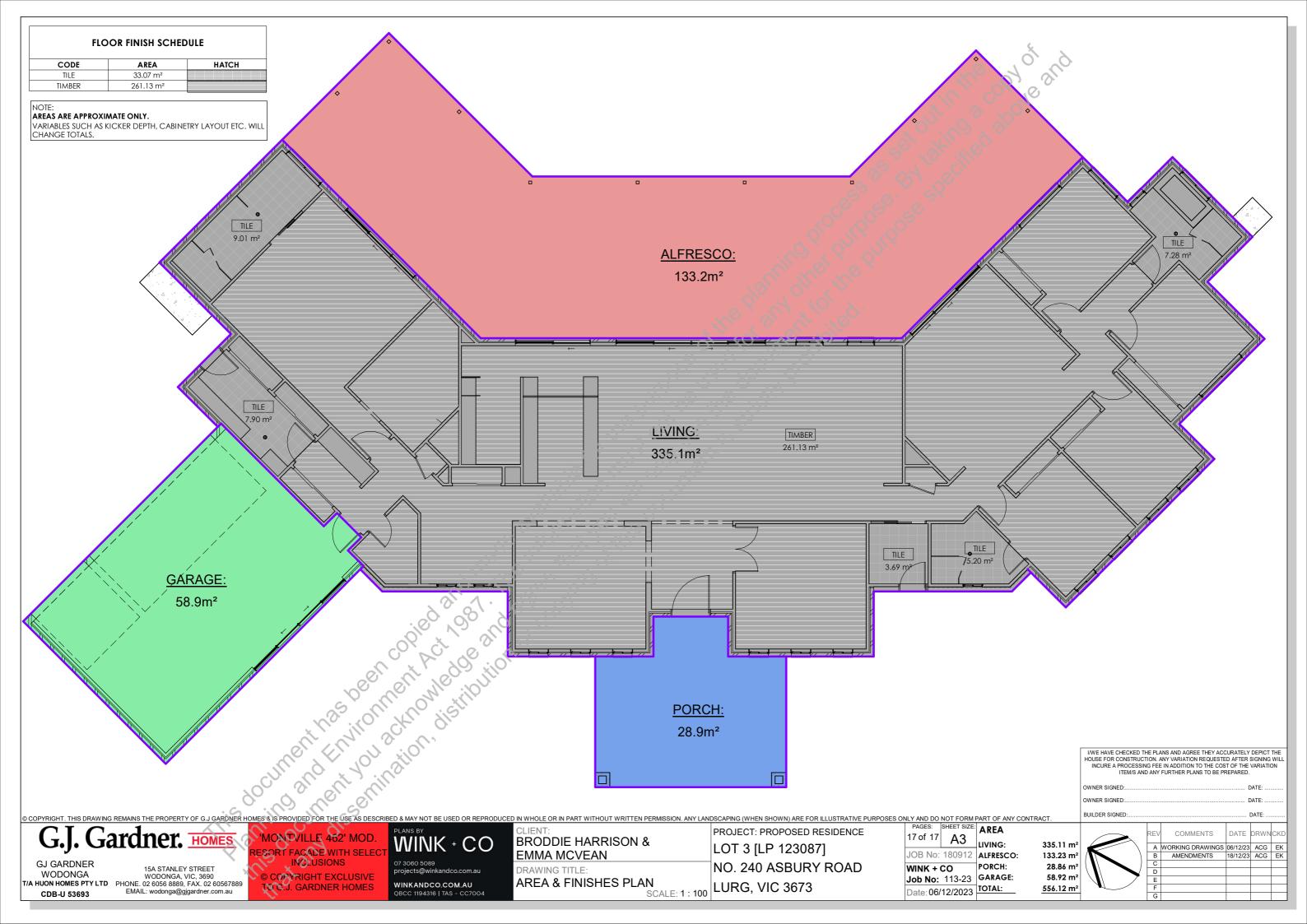
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FRESCO:	133.23 m²		В	AMENDMENTS	18/12/23	ACG	ΕK
ORCH:	28.86 m ²		C				
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TAL:	556.12 m²		F				
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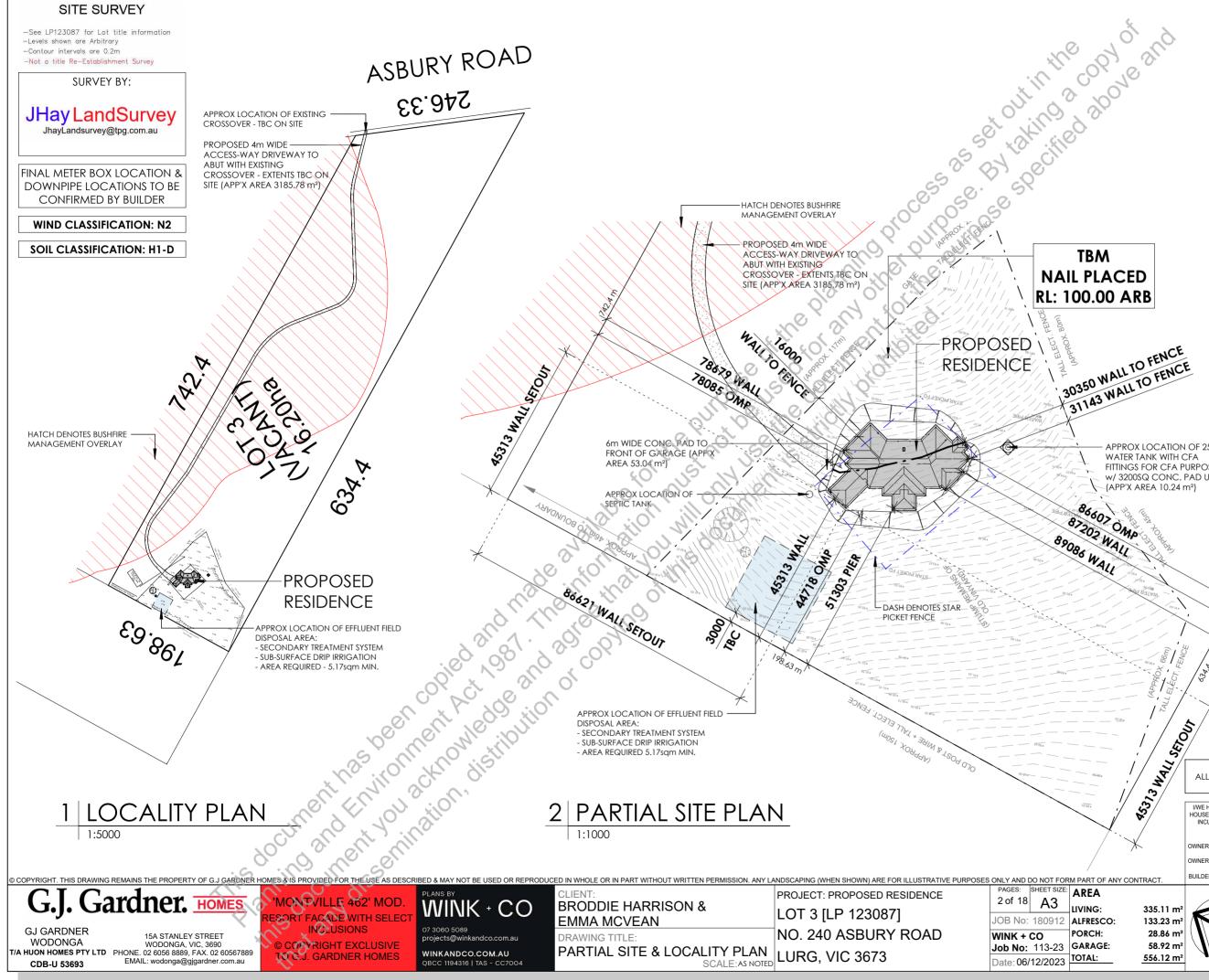






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			NCC 2022	HOL	JSING PROVISIONS	5				
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					ANY VARIATION REQUESTE E IN ADDITION TO THE COS					
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AGE:	58.92 m ²			E						
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APPROX LOCATION OF 25,000L SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION FITTINGS FOR CFA PURPOSES DAMPNESS, WEAKENING & w/ 3200SQ CONC. PAD UNDER UNDERMINING OF ANY BUILDING & ITS FOOTING SYSTEM LOCATION OF ALL EXISTING ONSITE SERVICES TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION BAL: 19 ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC REQUIREMENTS & AS. 3959-2018 I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION, ANY VARIATION REQUESTED AFTER SIGNING WILL INCURE A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED. WNER SIGNE VNER SIGNED BUILDER SIGNED DATE DATE RWNCK

AREA SCHEDULE:

SITE AREA (APPROX): 161969 m² TOTAL BUILT AREA: 569.33 m²

SITE COVER

0.35%

REMAINING COVER 99.65%

AREAS INCLUDE: PADS, PATHS, AREAS EXCLUDE: DRIVEWAY & CROSSOVER

NOTES

- GROUND LEVELS, FINISHED FLOOR LEVELS, SITE WORKS & RETAINING ARE INDICATIVE ONLY & ARE TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION. SITE PLANS ARE TO BE READ IN CONJUNCTION WITH ANY SURVEY/ENGINEERING PLANS AVAILABLE. ALL DIMENSIONS ARE TO BE CHECKED
- WITH EXISTING AND PROPOSED SITE
- WRITTEN DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED
- NO VARIATION MAY BE MADE TO THESE DRAWINGS WITHOUT THE PRIOR APPROVAL OF THE BUILDING DESIGNER
- REFER TO ENGINEERS DESIGN, DOCUMENTATION & CALCULATION FOR DETAILS ON SLAB, FOOTINGS, STRUCTURE, RETAINING WALLS, FINISHED FLOOR LEVELS, SITEWORKS & STORMWATER DETAILS.

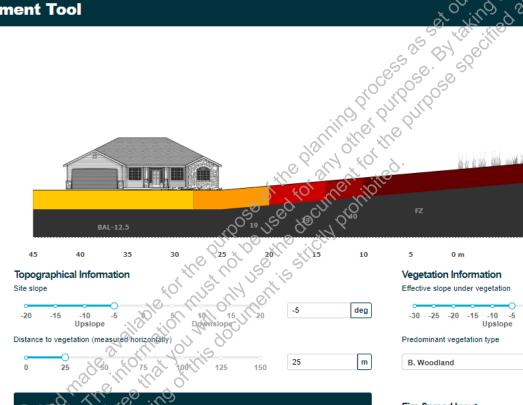
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS SHEETS, CONSULTANTS DRAWINGS DOCUMENTS SCHEDULES AND SPECIFICATIONS (AS APPLICABLE). THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES & THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING & /OR

COMMENTS A WORKING DRAWINGS 06/12/23 ACG EK AMENDMENTS 18/12/23 ACG EK AMENDMENTS 09/02/24 KS EK AMENDMENTS 14/02/24 TD EK AMENDMENTS 20/02/24 ACG SW

Bushfire Attack Level Assessment Tool







Bushfire Charact

BAL-LOW

more than 100m

BAL-12.5

BAL-19

BAL-29

19-14m

BAL-40

13-10m





	Fire Spread Forest Fire Dan
BAL-19	
Rate of Spread	
1.3 km/h	

BAL-FZ

9-0m

5 0 m

the panning process as set out in the

Vegetation Information

Effective slope under vegetation

-30	-25	-20	-15	-10 Upsic	-	0	5	10 Dowr	15 Islope	20	25	 30	-5	deg
Predo	minan	t vege	etatior	n type										

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* B. Woodland ?

Input

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Department of Environment, Land, Water and Planning ______

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VOLUME 9262 FOLIO 314

VOLUM VO REGISTERED PROPRIETOR Estate Fee Simple Joint Proprietors BRODIE JOHN HARRISON EMMA KATE MCVEAN bett AX1116 ESTERED PROPRIETOR ate Fee Simple at Proprietors BRODIE JOHN HARRISON EMMA KATE MCVEAN both of 25 HELMS COURT BENALLA VIC 3672 AX111673F 02/08/2023

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

-__Q_____

a C

SEE LP123087 FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER AX111672H (E) DISCHARGE OF MORTGAGE STATUS Registered DATE 02/08/2023 AX111673F (E)

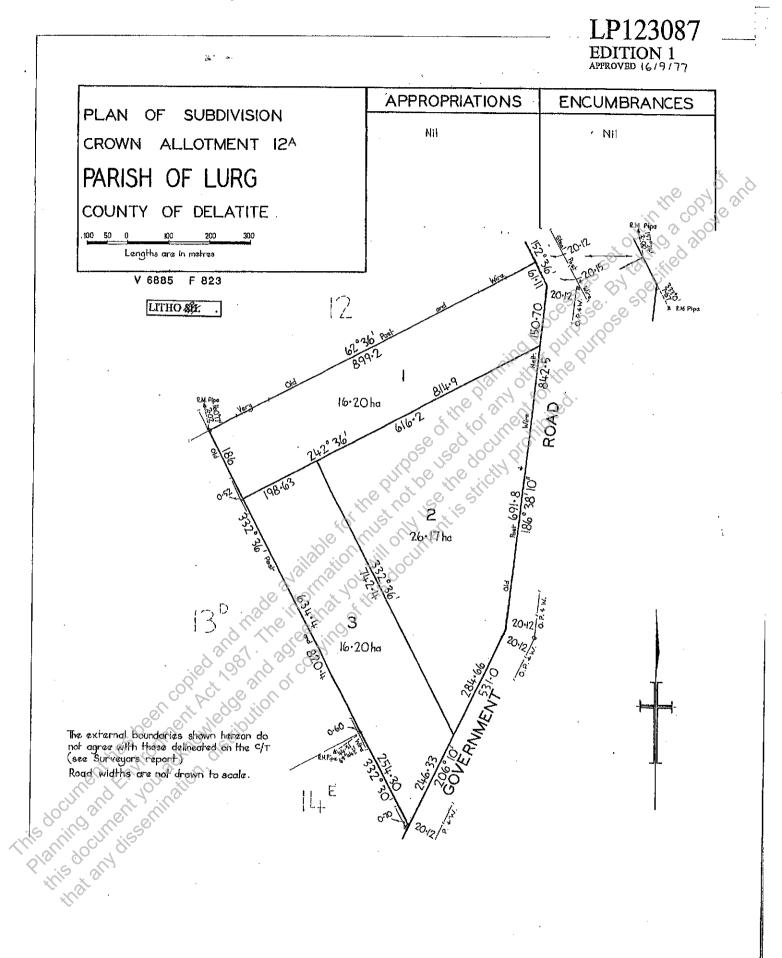
02/08/2023

Additional information:

Street Address: 240 ASBURY ROAD LURG VIC 3673

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