

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:

240 Asbury Road, Lurg, Lot 3, LP 123087, Parish of Lurg

The application is for a permit to:

Use and Develop the land for a dwelling

The applicant for the permit is:

Mr Brodie Harrison

The application reference number is:

P0002/24 , DA7095

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

An objection must:

- * **be made to the responsible authority in writing;**
- * **include the reasons for the objection; and**
- * **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

The Responsible Authority will not decide on the application before:

14 March 2024

If you object, the Responsible Authority will tell you its decision.

Clear Form


Office Use Only

Application No.:


Date Lodged: / /

Application for a Planning Permit

If you need help to complete this form, read MORE INFORMATION at the end of this form.

 Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any questions, please contact Council's planning department.

 Questions marked with an asterisk (*) must be completed.

 If the space provided on the form is insufficient, attach a separate sheet.

 Click for further information.

The Land


Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address *

Unit No.:	St. No.: 240	St. Name: Asbury road
Suburb/Locality: Lurg		Postcode: 3673

Formal Land Description *

Complete either A or B.


 This information can be found on the certificate of title.

If this application relates to more than one address, attach a separate sheet setting out any additional property details.


A	Lot No.: 3	<input checked="" type="radio"/> Lodged Plan <input type="radio"/> Title Plan <input type="radio"/> Plan of Subdivision	No.: 123087
OR			
B	Crown Allotment No.:	Section No.:	
Parish/Township Name: LURG			


The Proposal

 You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.


 For what use, development or other matter do you require a permit? *

Construction of single story dwelling.

 Provide additional information about the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

 Estimated cost of any development for which the permit is required *

Cost \$ \$840,497.00


 You may be required to verify this estimate. Insert '0' if no development is proposed.

Existing Conditions

Describe how the land is used and developed now *

For example, vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

Vacant Residential/Rural Lifestyle


 Provide a plan of the existing conditions. Photos are also helpful.

Title Information

Encumbrances on title *

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- ☐ Yes (If 'yes' contact Council for advice on how to proceed before continuing with this application.)
- ☒ No
- ☐ Not applicable (no such encumbrance applies).

 Provide a full, current copy of the title for each individual parcel of land forming the subject site. The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', for example, restrictive covenants.

Applicant and Owner Details

Provide details of the applicant and the owner of the land.

Applicant *

The person who wants the permit.

Please provide at least one contact phone number *

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

Name:

Title: Mr

First Name: Brodie

Surname: Harrison

Organisation (if applicable):

Postal Address:

Unit No.:

St. No.: 25

If it is a P.O. Box, enter the details here:

St. Name: Helms Court

Suburb/Locality: Benalla

State: VIC

Postcode: 3672

Contact information for applicant OR contact person below

Business phone: 0438868426

Email: brodieharrison1988@gmail.com

Mobile phone: 0412237998

Fax:

Contact person's details*

Same as applicant ☒

Name:

Title:

First Name:

Surname:

Organisation (if applicable):

Postal Address:

Unit No.:

St. No.:

If it is a P.O. Box, enter the details here:

St. Name:

Suburb/Locality:

State:

Postcode:

Owner *

The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.

Name:

Same as applicant ☒

Title:

First Name:

Surname:

Organisation (if applicable):

Postal Address:

Unit No.:

St. No.:

If it is a P.O. Box, enter the details here:

St. Name:

Suburb/Locality:

State:

Postcode:


Owner's Signature (Optional):

Date:

day / month / year

Declaration

This form must be signed by the applicant *

 Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant; and that all the information in this application is true and correct; and the owner (if not myself) has been notified of the permit application.

Signature: **BH**

Date: 20/12/23

day / month / year

Privacy consent

I give consent to my personal information disclosed in the application to be made available for public inspection, including on Council's public website, whilst the application is being determined, in accordance with Section 51 of the Planning and Environment Act 1987.

Yes ☒ No ☐

Signature: **BH**

Date: 20/12/23

day / month / year

Need help with the Application?

General information about the planning process is available at planning.vic.gov.au

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application.

Has there been a pre-application meeting with a council planning officer?

☒ No ☐ Yes

If 'Yes', with whom?:

Date:


day / month / year


Checklist

Have you:

☒ Filled in the form completely?

☐ Paid or included the application fee?

 Most applications require a fee to be paid. Contact Council to determine the appropriate fee.

 Provided all necessary supporting information and documents?

☒ A full, current copy of title information for each individual parcel of land forming the subject site.

☒ A plan of existing conditions.

☒ Plans showing the layout and details of the proposal.

☒ Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.

☐ If required, a description of the likely effect of the proposal (for example, traffic, noise, environmental impacts).

☒ Completed the relevant council planning permit checklist?

☒ Signed the declaration above?

Lodgement

Lodge the completed and signed form, the fee and all documents with:

Benalla Rural City Council
PO Box 227
Benalla VIC 3671

Customer Service Centre
1 Bridge Street East
Benalla VIC 3671

Contact information:

Phone (03) 5760 2600
Email: council@benalla.vic.gov.au
DX: 32230

Deliver application in person, by post or by electronic lodgement.

REV	COMMENTS	DATE	DRWN	CKD
A	WORKING DRAWINGS	06/12/23	ACG	EK
B	AMENDMENTS	18/12/23	ACG	EK
C				
D				
E				
F				
G				

- See LP123087 for Lot title information
- Levels shown are Arbitrary
- Contour intervals are 0.2m
- Not a title Re-Establishment Survey

JHayLandSurvey
JhayLandsurvey@tpg.com.au

FINAL METER BOX LOCATION &
DOWNPIPE LOCATIONS TO BE
CONFIRMED BY BUILDER

WIND CLASSIFICATION: TBC

SOIL CLASSIFICATION: TBC

SITE AREA (APPROX):	161969 m ²
TOTAL BUILT AREA:	559.09 m ²

SITE COVER	0.35%
REMAINING COVER	99.65%

AREAS INCLUDE: PADS, PATHS,
AREAS EXCLUDE: DRIVEWAY & CROSSOVER

NOTES

- GROUND LEVELS, FINISHED FLOOR LEVELS, SITE WORKS & RETAINING ARE INDICATIVE ONLY & ARE TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION. SITE PLANS ARE TO BE READ IN CONJUNCTION WITH ANY SURVEY/ENGINEERING PLANS AVAILABLE.
- ALL DIMENSIONS ARE TO BE CHECKED WITH EXISTING AND PROPOSED SITE CONDITIONS.
- WRITTEN DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED
- NO VARIATION MAY BE MADE TO THESE DRAWINGS WITHOUT THE PRIOR APPROVAL OF THE BUILDING DESIGNER
- REFER TO ENGINEERS DESIGN, DOCUMENTATION & CALCULATION FOR DETAILS ON SLAB, FOOTINGS, STRUCTURE, RETAINING WALLS, FINISHED FLOOR LEVELS, SITEWORKS & STORMWATER DETAILS.
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS SHEETS, CONSULTANTS DRAWINGS, DOCUMENTS, SCHEDULES AND SPECIFICATIONS (AS APPLICABLE).
- THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES & THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING &/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING & UNDERMINING OF ANY BUILDING & ITS FOOTING SYSTEM.
- LOCATION OF ALL EXISTING ONSITE SERVICES TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION

BAL: 19

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH
NCC REQUIREMENTS & AS. 3959-2018

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATION REQUESTED AFTER SIGNING WILL INCURE A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: _____ DATE: _____

OWNER SIGNED: _____ DATE: _____

BUILDER SIGNED: _____ DATE: _____

[illegible]

	REV	COMMENTS	DATE	DRWN	CKD
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A	WORKING DRAWINGS	06/12/23	ACG	EK
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B	AMENDMENTS	18/12/23	ACG	EK
C				

C				
D				

E				
E				

G				

1 | LOCALITY PLAN

1:5000

2 | PARTIAL SITE PLAN

1:1000

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G.J. Gardner. HOMES

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WODONGA
T/A HUON HOMES PTY LTD
CDB-U 53693

15A STANLEY STREET
WODONGA, VIC, 3690
PHONE. 02 6056 8889, FAX. 02 60567889
EMAIL: wodonga@gjgardner.com.au

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INCLUSIONS

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PLANS BY
WINK + CO
07 3060 5089
projects@winkandco.com.au

WINKANDCO.COM.AU
QBCC 1194316 | TAS - CC7004

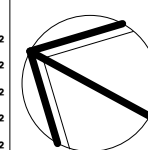
CLIENT:
BRODDIE HARRISON &
EMMA MCVEAN

DRAWING TITLE:
PARTIAL SITE & LOCALITY PLAN
SCALE: AS NOTED

PROJECT: PROPOSED RESIDENCE
LOT 3 [LP 123087]
NO. 240 ASBURY ROAD
LURG, VIC 3673

PAGES:		SHEET SIZE:	
2 of 17		A3	
JOB No: 180912			
WINK + CO			
Job No: 113-23			
Date: 06/12/2023			

AREA	
LIVING:	335.11 m ²
ALFRESCO:	133.23 m ²
PORCH:	28.86 m ²
GARAGE:	58.92 m ²
TOTAL:	556.12 m ²



REV	COMMENTS	DATE	DRWN	CHKD
A	WORKING DRAWINGS	06/12/23	ACG	EK
B	AMENDMENTS	18/12/23	ACG	EK
C				
D				
E				
F				
G				

NOTES

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- WRITTEN DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED
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- REFER TO ENGINEERS DESIGN, DOCUMENTATION & CALCULATION FOR DETAILS ON SLAB, FOOTINGS, STRUCTURE, RETAINING WALLS, FINISHED FLOOR LEVELS, SITEWORKS & STORMWATER DETAILS.
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- LOCATION OF ALL EXISTING ONSITE SERVICES TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION

AREA SCHEDULE:

SITE AREA (APPROX): **161969 m²**
TOTAL BUILT AREA: **559.09 m²**

SITE COVER **0.35%**
REMAINING COVER **99.65%**

AREAS INCLUDE: PADS, PATHS,
AREAS EXCLUDE: DRIVEWAY & CROSSOVER

SITE SURVEY

- See LP123087 for Lot title information
- Levels shown are Arbitrary
- Contour intervals are 0.2m
- Not a title Re-Establishment Survey

SURVEY BY:

JHayLandSurvey
JhayLandsurvey@tpg.com.au

FINAL METER BOX LOCATION &
DOWNPIPE LOCATIONS TO BE
CONFIRMED BY BUILDER

WIND CLASSIFICATION: TBC

SOIL CLASSIFICATION: TBC

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QBCC 1194316 | TAS - CC7004

CLIENT:
BRODDIE HARRISON &
EMMA MCVEAN

DRAWING TITLE:
PARTIAL SITE PLAN

SCALE:1 : 250

PROJECT: PROPOSED RESIDENCE
LOT 3 [LP 123087]
NO. 240 ASBURY ROAD
LURG, VIC 3673

PAGES:
3 of 17

SHEET SIZE:
A3

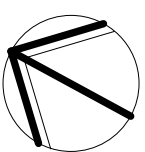
JOB No: 180912

WINK + CO
Job No: 113-23

Date: 06/12/2023

AREA

LIVING: **335.11 m²**
ALFRESCO: **133.23 m²**
PORCH: **28.86 m²**
GARAGE: **58.92 m²**
TOTAL: **556.12 m²**

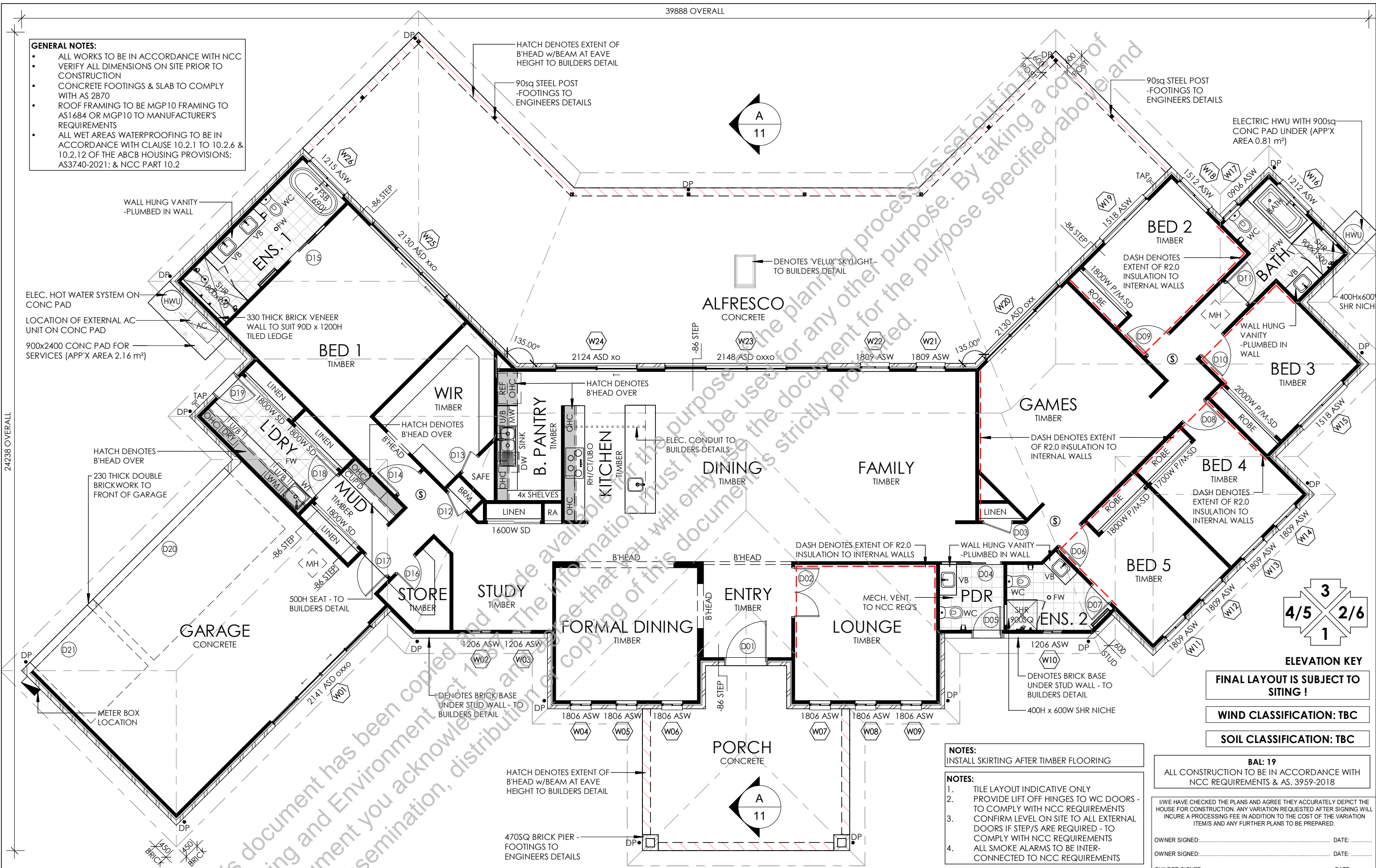


REV	COMMENTS	DATE	DRWN	CKD
A	WORKING DRAWINGS	06/12/23	ACG	EK
B	AMENDMENTS	18/12/23	ACG	EK
C				
D				
E				
F				
G				

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATION REQUESTED AFTER SIGNING WILL INCURE A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED.

OWNER SIGNED:..... DATE:
OWNER SIGNED:..... DATE:
BUILDER SIGNED:..... DATE:

BAL: 19
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH
NCC REQUIREMENTS & AS. 3959-2018



GENERAL NOTES:

- ALL WORKS TO BE IN ACCORDANCE WITH NCC
- VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION
- CONCRETE FOOTINGS & SLAB TO COMPLY WITH AS 2870
- ROOF FRAMING TO BE MGP10 FRAMING TO AS1684 OR MGP10 TO MANUFACTURER'S REQUIREMENTS
- ALL WET AREAS WATERPROOFING TO BE IN ACCORDANCE WITH CLAUSE 10.2.1 TO 10.2.6 & 10.2.12 OF THE ABCB HOUSING PROVISIONS; AS3740-2021; & NCC PART 10.2

NOTES:
INSTALL SKIRTING AFTER TIMBER FLOORING

NOTES:

- TILE LAYOUT INDICATIVE ONLY
- PROVIDE LIFT OFF HINGES TO WC DOORS - TO COMPLY WITH NCC REQUIREMENTS
- CONFIRM LEVEL ON SITE TO ALL EXTERNAL DOORS IF STEP/S ARE REQUIRED - TO COMPLY WITH NCC REQUIREMENTS
- ALL SMOKE ALARMS TO BE INTER-CONNECTED TO NCC REQUIREMENTS

ELEVATION KEY

3
4/5 2/6
1

FINAL LAYOUT IS SUBJECT TO SITING !

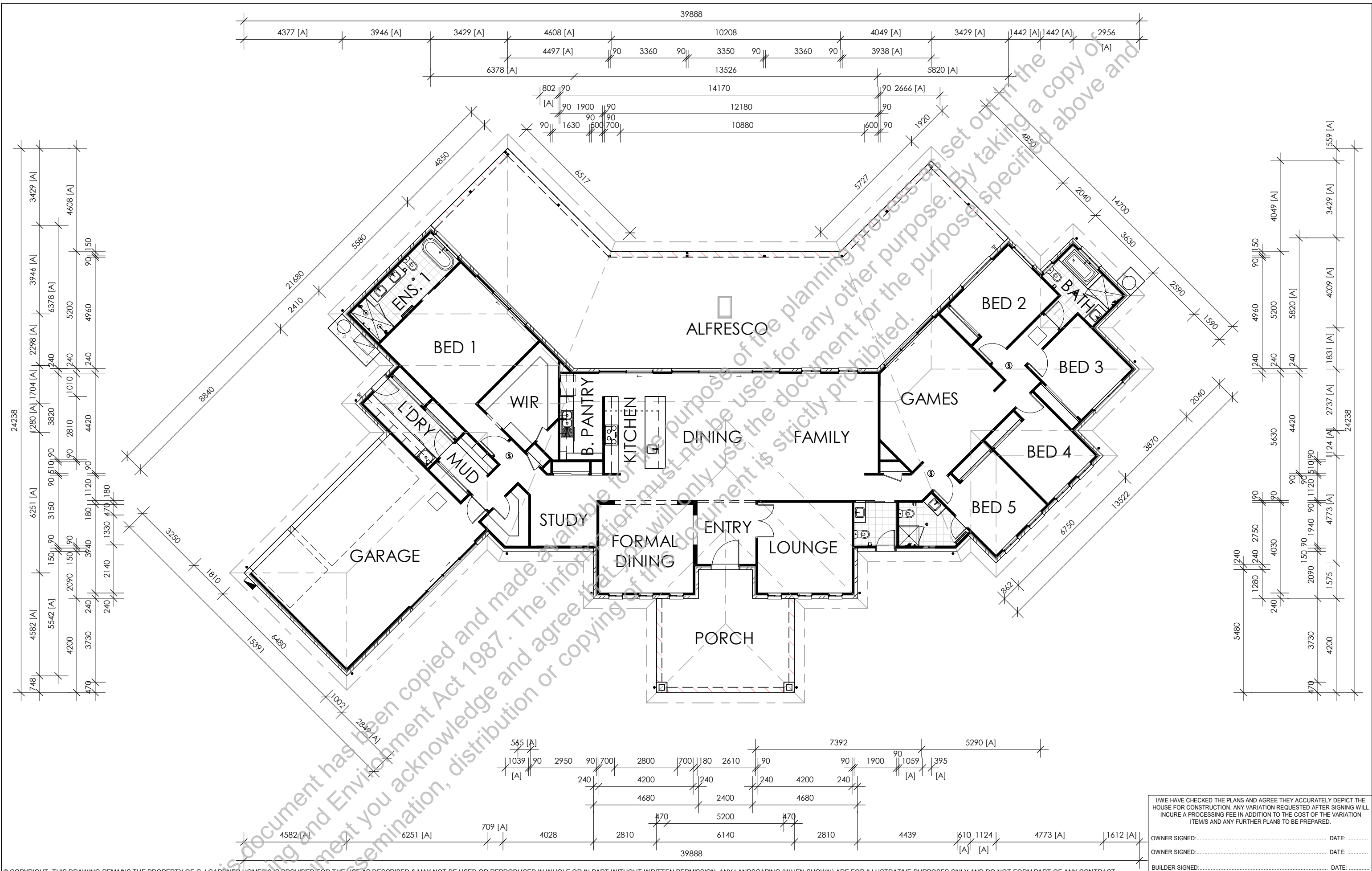
WIND CLASSIFICATION: TBC

SOIL CLASSIFICATION: TBC

BAL: 19
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH NCC REQUIREMENTS & AS. 3959-2018

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OWNER SIGNED: DATE:
OWNER SIGNED: DATE:
BUILDER SIGNED: DATE:



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G.J. Gardner. **HOMES**

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projects@winkandco.com.au
WINKANDCO.COM.AU
QBCC 1194316 | TAS - CC7004

CLIENT:
BRODDIE HARRISON &
EMMA MCVEAN
DRAWING TITLE:
DIMENSION FLOOR PLAN
SCALE: 1 : 150

PROJECT: PROPOSED RESIDENCE
LOT 3 [LP 123087]
NO. 240 ASBURY ROAD
LURG, VIC 3673

PAGES: 5 of 17	SHEET SIZE: A3	AREA
JOB No: 180912	WINK + CO	LIVING: 335.11 m ²
Job No: 113-23	Date: 06/12/2023	ALFRESCO: 133.23 m ²
		PORCH: 28.86 m ²
		GARAGE: 58.92 m ²
		TOTAL: 556.12 m ²

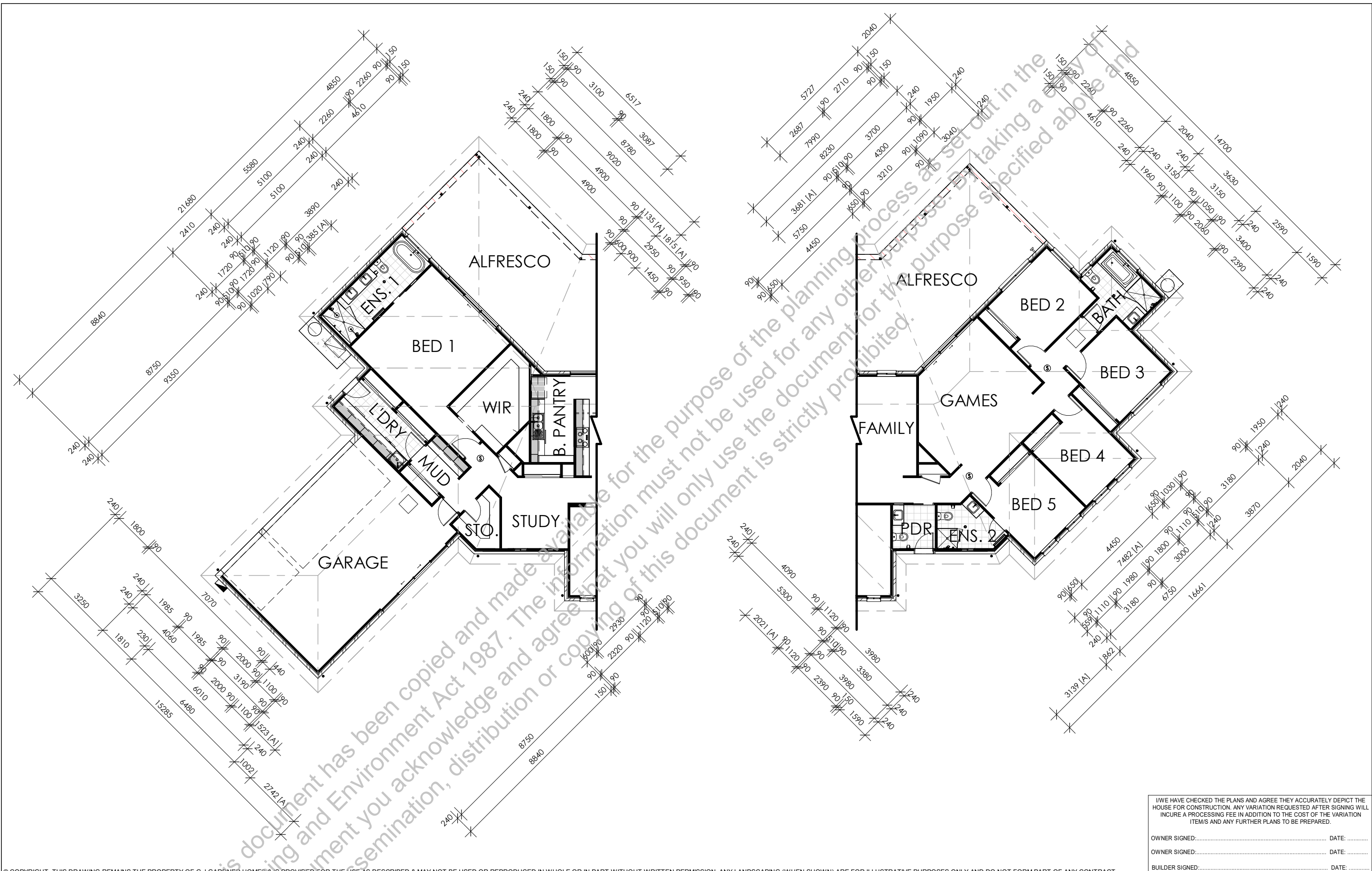
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OWNER SIGNED:..... DATE:

OWNER SIGNED:..... DATE:

BUILDER SIGNED:..... DATE:

REV	COMMENTS	DATE	DRWN	CKD
A	WORKING DRAWINGS	06/12/23	ACG	EK
B	AMENDMENTS	18/12/23	ACG	EK
C				
D				
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F				
G				



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OWNER SIGNED:..... DATE:

OWNER SIGNED:..... DATE:

BUILDER SIGNED:..... DATE:

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PLANS BY
WINK + CO

07 3060 5089
projects@winkandco.com.au
WINKANDCO.COM.AU
QBCC 1194316 | TAS - CC7004

CLIENT:
**BRODDIE HARRISON &
EMMA MCVEAN**

DRAWING TITLE:
ADDITIONAL DIMENSION PLAN
SCALE:1 : 150

PROJECT: PROPOSED RESIDENCE
LOT 3 [LP 123087]
NO. 240 ASBURY ROAD
LURG, VIC 3673

PAGES:
6 of 17

SHEET SIZE:
A3

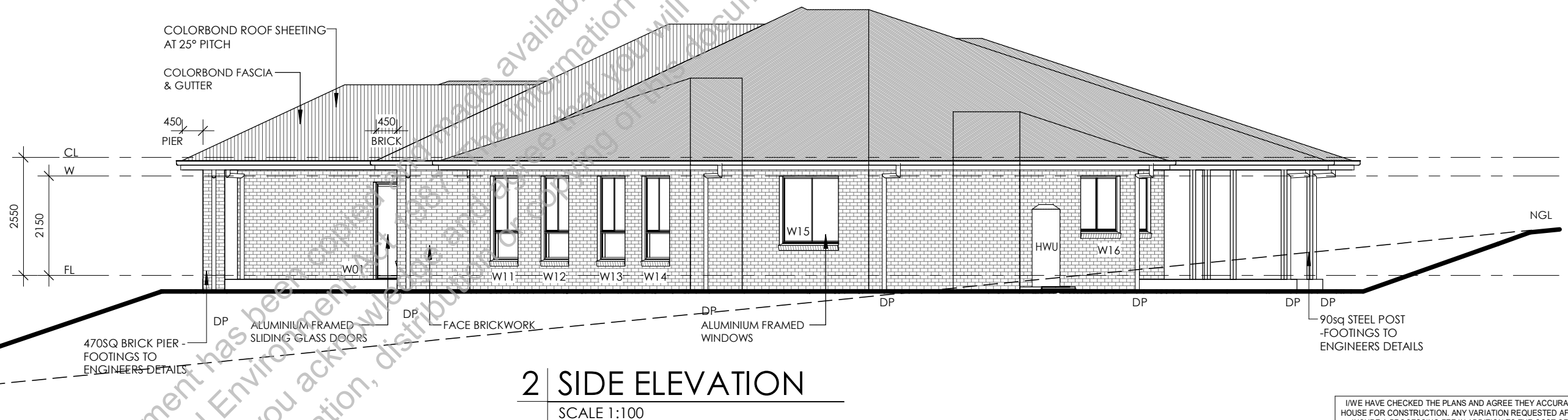
WINK + CO
Job No: 113-23
Date: 06/12/2023

AREA
LIVING: **335.11 m²**
ALFRESCO: **133.23 m²**
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GARAGE: **58.92 m²**
TOTAL: **556.12 m²**

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A	WORKING DRAWINGS	06/12/23	ACG	EK
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C				
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1 FRONT ELEVATION
SCALE 1:110



2 SIDE ELEVATION
SCALE 1:100

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projects@winkandco.com.au
WINKANDCO.COM.AU
QBCC 1194316 | TAS - CC7004

CLIENT:
BRODDIE HARRISON &
EMMA MCVEAN

DRAWING TITLE:
ELEVATIONS

SCALE: AS NOTED

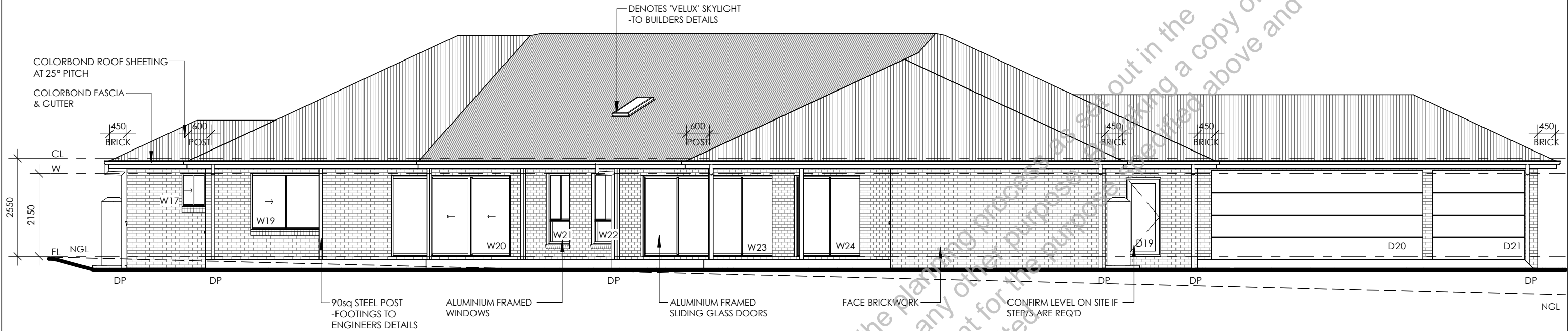
PROJECT: PROPOSED RESIDENCE
LOT 3 [LP 123087]
NO. 240 ASBURY ROAD
LURG, VIC 3673

PAGES:
7 of 17
JOB No: 180912
WINK + CO
Job No: 113-23
Date: 06/12/2023

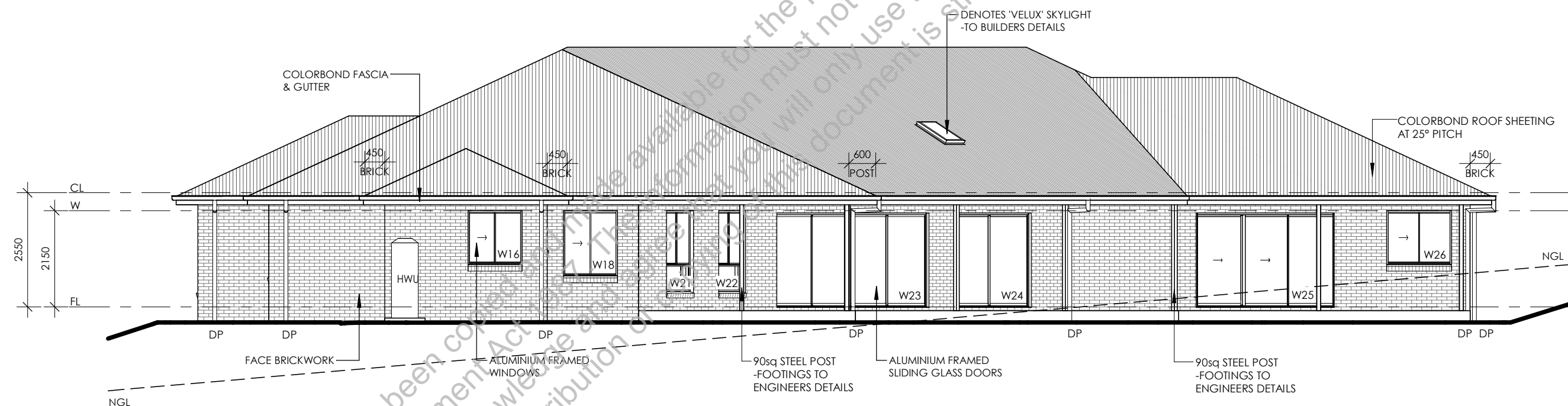
SHEET SIZE:
A3

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B	AMENDMENTS	18/12/23	ACG	EK
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F				
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5 SIDE ELEVATION



6 SIDE ELEVATION

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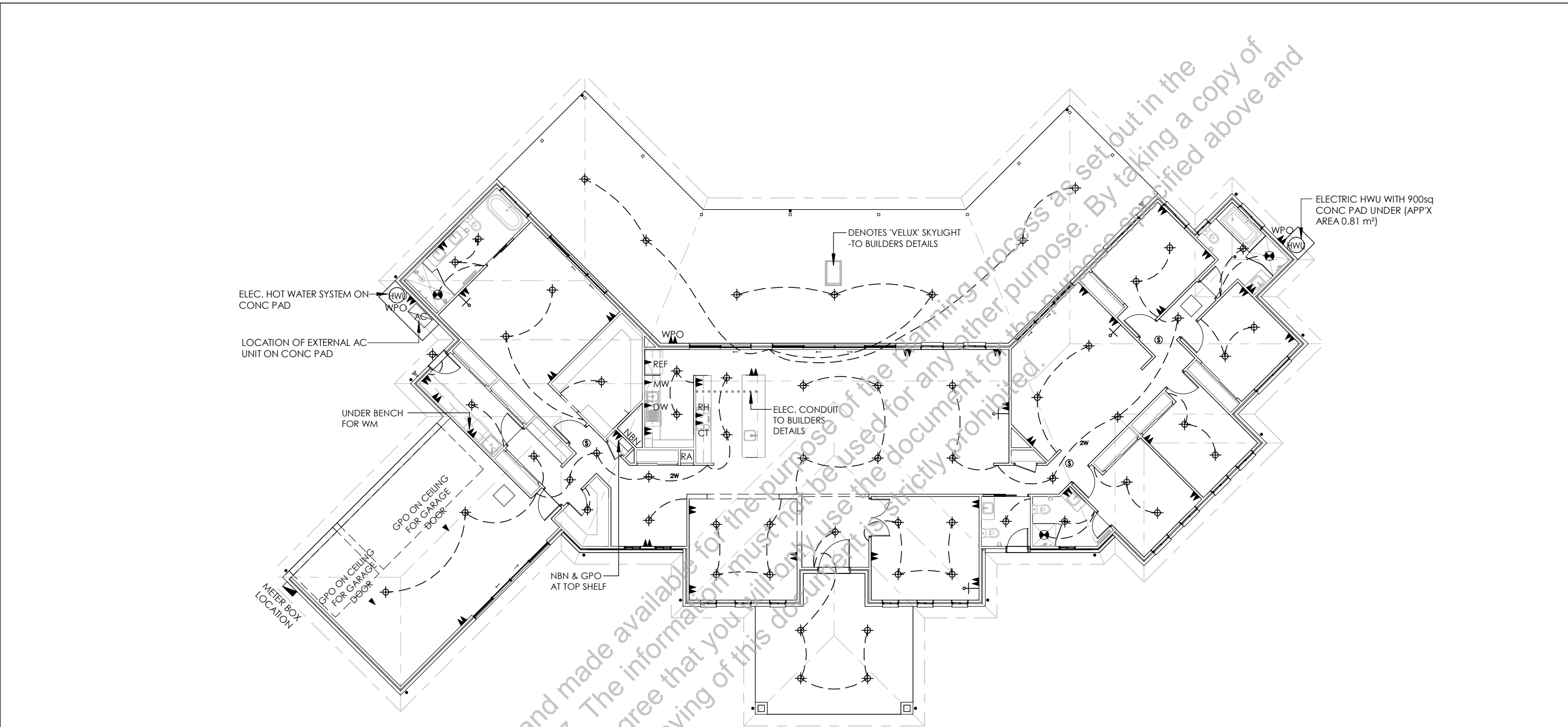
OWNER SIGNED:..... DATE:

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G.J. Gardner. HOMES GJ GARDNER WODONGA T/A HUON HOMES PTY LTD CDB-U 53693	'MONTVILLE 462' MOD. RESORT FACADE WITH SELECT INCLUSIONS © COPYRIGHT EXCLUSIVE TO G.J. GARDNER HOMES	PLANS BY WINK + CO 07 3060 5089 projects@winkandco.com.au WINKANDCO.COM.AU QBCC 1194316 TAS - CC7004	CLIENT: BRODDIE HARRISON & EMMA MCVEAN DRAWING TITLE: ELEVATIONS	PROJECT: PROPOSED RESIDENCE LOT 3 [LP 123087] NO. 240 ASBURY ROAD LURG, VIC 3673	SCALE: 1 : 100	PAGES: 9 of 17 JOB No: 180912 WINK + CO Job No: 113-23 Date: 06/12/2023	SHEET SIZE: A3	AREA LIVING: 335.11 m² ALFRESCO: 133.23 m² PORCH: 28.86 m² GARAGE: 58.92 m² TOTAL: 556.12 m²	REV A B C D E F G	COMMENTS WORKING DRAWINGS AMENDMENTS	DATE 06/12/23 18/12/23	DRWNCKD ACG ACG E E E E E
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ELECTRICAL LEGEND

2 2W	2 WAY SWITCH		SPOTLIGHT		INTERNAL A/C HEAD UNIT		P PENDANT LIGHT		THREE WAY SWITCH
3 S	SMOKE ALARM TO NCC REQ'S		INTERNAL LIGHT		TASTIC LIGHT (FAN/LIGHT/HEATER)		E EXTERNAL LIGHT		DIMMER SWITCH
61 ⊕	LOW VOLTAGE DOWNLIGHT		WALL MOUNTED LIGHT		SINGLE WATERPROOF POWER POINT	1 NBN	NBN LOCATION	3	EXHAUST FAN
7 ▲	SINGLE POWER POINT	34 ▲▲	DOUBLE POWER POINT		DOUBLE POWER POINT w/USB		CEILING FAN		CEILING FAN WITH LIGHT
4 ⊕	TV POINT		DATA POINT	3	DOUBLE WATERPROOF POWER POINT	1	METER BOX		GAS TAP
2	HOT WATER UNIT		GAS HOT WATER UNIT	1	EXTERNAL A/C UNIT		FLUORESCENT LIGHT		STRIP LIGHT

HEATING & COOLING NOTES:

- SUPPLY & INSTALL DUCTED HEATING & COOLING SYSTEM AS PER BUILDERS SPECIFICATIONS (DETAILS TBC BY BUILDER/ MANUFACTURER)

NOTES:

- FINAL LAYOUT TBC BY BUILDER/CLIENT
- ALL SMOKE ALARMS TO BE HARD WIRED SELF CONTAINED & INTERCONNECTED AS PER AS 3786 & NCC REQUIREMENTS

OTS DENOTES OWNER TO SUPPLY, BUILDER TO INSTALL

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projects@winkandco.com.au
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QBCC 1194316 | TAS - CC7004

CLIENT:
**BRODDIE HARRISON &
EMMA MCVEAN**

DRAWING TITLE:
ELECTRICAL PLAN

SCALE: 1:150

PROJECT: PROPOSED RESIDENCE
LOT 3 [LP 123087]
NO. 240 ASBURY ROAD
LURG, VIC 3673

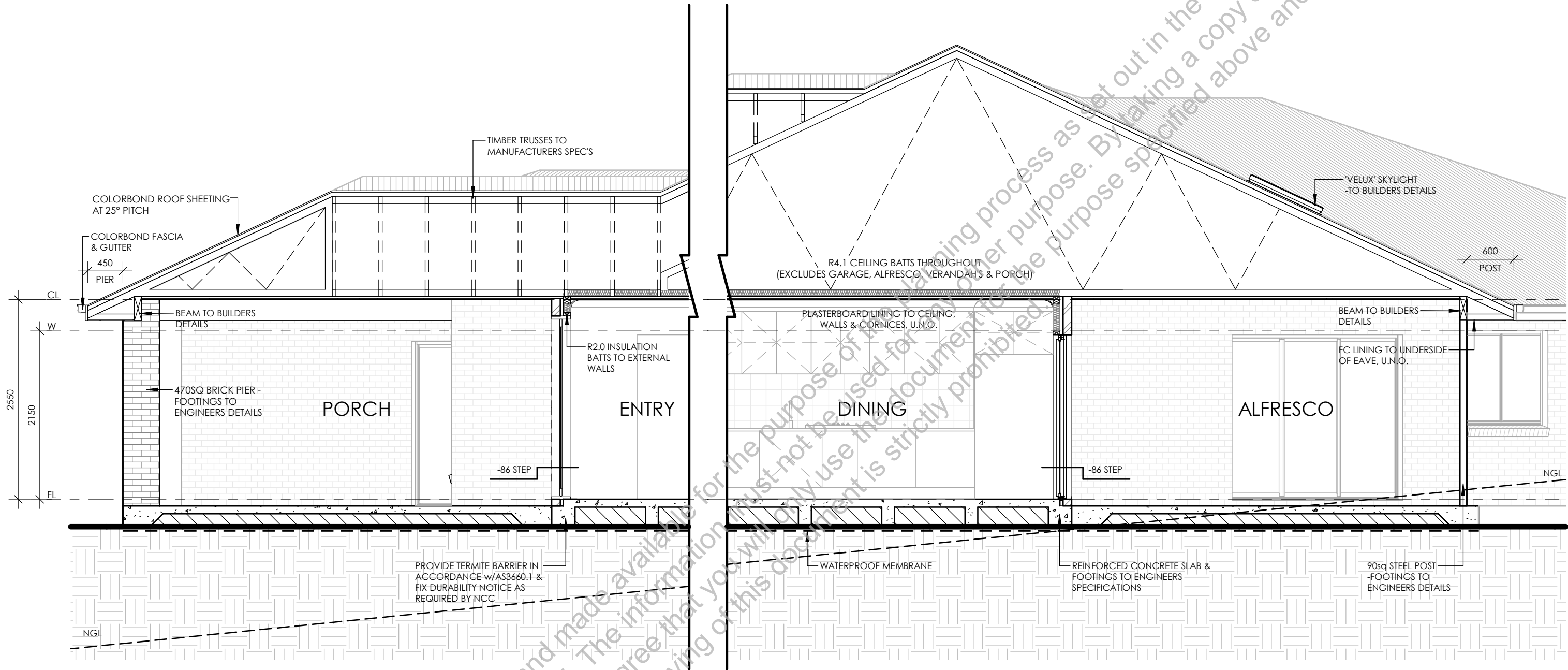
PAGES:
10 of 17

SHEET SIZE:
A3

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LIVING: **335.11 m²**
ALFRESCO: **133.23 m²**
PORCH: **28.86 m²**
GARAGE: **58.92 m²**
TOTAL: **556.12 m²**

WINK + CO
Job No: 113-23
Date: 06/12/2023

REV	COMMENTS	DATE	DRWN	CKD
A	WORKING DRAWINGS	06/12/23	ACG	EK
B	AMENDMENTS	18/12/23	ACG	EK
C				
D				
E				
F				
G				



- NOTES:**
1. THESE DOCUMENTS (ARCHITECTURAL PLANS) ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS, ENGINEER'S DOCUMENTS, MANUFACTURER'S REQUIREMENTS & RELEVANT AUSTRALIAN STANDARDS
 2. LEVELS ARE APPROXIMATE ONLY. CONFIRM ON SITE PRIOR TO ORDERING MATERIALS AND CONSTRUCTION.
 3. THE DOCUMENTS WHICH CONSTITUTE OR EVIDENCE THE BUILDING WORK SHALL BE TAKEN AS MUTUALLY EXPLANATORY AND ANYTHING CONTAINED IN ONE BUT NOT IN ANOTHER SHALL BE EQUALLY BINDING AS IF CONTAINED IN ALL.
 4. ALL PROPRIETARY ITEMS, EQUIPMENT, MATERIALS AND METHODS OF CONSTRUCTION SHALL BE CARRIED OUT TO AT LEAST THE STANDARDS, REQUIREMENTS AND RECOMMENDATIONS OF THE MANUFACTURER AND/OR SUPPLIER AS SET OUT IN THEIR CURRENT PUBLISHED DOCUMENTS PRODUCT OR SYSTEM. WHERE USED IN COMBINATION WITH A PRODUCT OF A DIFFERENT MANUFACTURER, IS TO BE COMPATIBLE AND TOGETHER COMPLIES WITH RELEVANT AUSTRALIAN STANDARDS.
 5. STRUCTURAL ELEMENTS ON DRAWINGS ARE FOR INFORMATION AND GUIDANCE ONLY. OBTAIN INFORMATION FROM PRACTICING ENGINEERS TO DETERMINE STRUCTURAL REQUIREMENTS.
 6. DOWNPIPE POSITIONS ARE INDICATIVE ONLY. EXACT LOCATION AND NUMBERS TO BE IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS, NCC PART 3.5.2 AND AS/NZS 3500.3, AS/NZS 3500.5.
 7. CHECK ALL DIMENSIONS, BOUNDARY SERVICES (INCLUDING THOSE UNDERGROUND) PRIOR TO ORDERING MATERIALS AND CONSTRUCTION.
 8. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODES OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS AND REGULATORY AUTHORITIES REQUIREMENTS.
 9. ALL WET AREA WATERPROOFING TO BE CONSTRUCTED IN ACCORDANCE WITH THE NCC 2022 HOUSING PROVISIONS

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CLIENT:
BRODDIE HARRISON &
EMMA MCVEAN
DRAWING TITLE:
SECTION A-A

SCALE: 1 : 50

PROJECT: PROPOSED RESIDENCE
LOT 3 [LP 123087]
NO. 240 ASBURY ROAD
LURG, VIC 3673

PAGES:
11 of 17
JOB No: 180912
WINK + CO
Job No: 113-23
Date: 06/12/2023

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D				
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BAL REQUIREMENTS 19

BUILDING ELEMENTS		BAL 19 REQUIREMENTS	BUILDING ELEMENTS		BAL 19 REQUIREMENTS
TILED ROOF		FULLY SARKED (FLAMMABILITY INDEX <5) <ul style="list-style-type: none">• INSTALLED DIRECTLY BELOW TILE BATTENS• MUST COVER ENTIRE ROOF AREA, INCLUDING RIDGE & BE INSTALLED SO THAT THERE ARE NO GAPS WHERE SARKING MEETS FASCIA, GUTTERS, VALLEYS & THE LIKE.	EXTERNAL HINGED DOORS		BEHIND BUSH-FIRE SHUTTERS OR EXTERNAL SCREENS (COMPLETELY PROTECTED), OR <ul style="list-style-type: none">• NON-COMBUSTIBLE MATERIALS• IF SOLID TIMBER, MIN 35mm THICK FOR <400mm ABOVE THRESHOLD• IF FULLY FRAMED GLAZED DOOR (GLAZING AS PER WINDOWS) WITH FRAMING MADE OF NON-COMBUSTIBLE MATERIAL OR BUSH-FIRE RESISTING TIMBER.• ALL FRAMES TO BE METAL OR BUSHFIRE-RESISTING TIMBER OR METAL REINFORCED PVC-U• ALL HARDWARE TO BE METAL• DOORS SHALL BE TIGHT-FITTING IN THE FRAMES & TO AN ABUTTING DOOR, IF APPLICABLE• WEATHER STRIPS, DRAUGHT EXCLUDERS/SEALS SHALL BE INSTALLED AT THE BASE OF ALL EXTERNAL DOORS
SHEET ROOF		FULLY SARKED (FLAMMABILITY INDEX <5) INSTALLED DIRECTLY BELOW BATTENS <ul style="list-style-type: none">• FOIL-BACKED INSULATION BLANKETS MAY BE INSTALLED OVER BATTENS• GAPS GREATER THAN 3mm TO BE SEALED BY: A.MESH WITH MAX. 2mm APERTURE, MADE OF CORROSION RESISTANT STEEL OR BRONZE B.MINERAL WOOL C.OTHER NON-COMUSTIBLE MATERIAL D.COMBINATION OF ABOVE ITEMS	DOORS: VEHICLE ACCESS DOORS		THE FOLLOWING APPLY TO VEHICLE ACCESS DOORS: <ul style="list-style-type: none">• ALL DOORS SHALL BE NON-COMBUSTIBLE OR BUSH-FIRE RESISTING TIMBER.• PANEL LIFT, TILT DOORS OR SLIDE-HUNG DOORS SHALL BE FITTED WITH SUITABLE WEATHER STRIPS, DRAUGHT EXCLUDERS/SEALS AS APPROPRIATE TO THE DOOR TYPE, WITH A GAP NOT GREATER THAN 3mm• ROLLER DOOR SHALL HAVE GUIDE TRACKS WITH A MAX. GAP NO GREATER THAN 3mm & SHALL BE FITTED WITH A NYLON BRUSH THAT IS IN CONTACT WITH THE DOOR.• NO VENTILATION VENTS
FASCIA & BARGEBOARDS		BUSH-FIRE RESISTING TIMBER, OR METAL (TO BE FIXED AT 450 CENTRES)	FLOORS: FLOORINGS JOISTS BEARERS DECKING RAMPS ETC.	ENCLOSED SUB-FLOOR	ENSURE EXTERNAL WALL IS BAL 19 COMPLIANT AS NOTED PREVIOUSLY
EAVES LININGS		FIBRE-CEMENT SHEET MINIMUM 4.5mm THICKNESS		UNENCLOSED SUB-FLOOR	ALL MATERIALS SHALL BE NON-COMBUSTIBLE OR BUSH-FIRE RESISTING TIMBER
WINDOWS		BEHIND BUSH-FIRE SHUTTERS (COMPLETELY PROTECTED), OR <ul style="list-style-type: none">• ALL FRAMES, JOINERY & HARDWARE TO BE METAL• ALL FRAMES & JOINERY TO BE BUSH-FIRE RESISTING TIMBER• ALL GLAZING TO BE 5mm TOUGHENED GLASS• ALL FRAMES & JOINERY TO BE METAL-REINFORCED PVC-U		ENCLOSED	<ul style="list-style-type: none">• ENSURE EXTERNAL WALL IS BAL 19 COMPLIANT AS NOTED PREVIOUSLY
EXTERNAL SLIDING DOORS		BEHIND BUSH-FIRE SHUTTERS OR EXTERNAL SCREENS (COMPLETELY PROTECTED), OR <ul style="list-style-type: none">• ALL FRAMES & HARDWARE TO BE METAL• ALL GLAZING TO BE 5mm TOUGHENED GLASS• ALL FRAMES TO BE FIRE-RESISTING TIMBER• ALL FRAMES TO BE METAL-REINFORCED PVC-U• SLIDING DOORS SHALL BE TIGHT-FITTING IN THE FRAMES		UNENCLOSED	ALL MATERIALS SHALL BE NON-COMBUSTIBLE OR BUSH-FIRE RESISTANT TIMBER
EXTERNAL WALLS	LIGHTWEIGHT CLADDING	ANY CLADDING FIXED EXTERNALLY TO A FULLY-SARKED TIMBER OR STEEL FRAMED WALL TO BE: <ul style="list-style-type: none">• FIBRE-CEMENT MIN 6mm THICKNESS• NON-COMBUSTIBLE MATERIALS• BUSHFIRE-RESISTING TIMBER• COMBINATION OF ABOVE ITEMS	BALUSTRADES, HANDRAILS & OTHER BARRIERS		ALL MATERIALS SHALL BE NON-COMBUSTIBLE OR BUSH-FIRE RESISTANT TIMBER
	BRICK	90mm MINIMUM THICKNESS	ROOF PENETRATIONS & VENTS		<ul style="list-style-type: none">• ALL OPENINGS & VENTILATORS SHALL BE FITTED WITH NON-COMBUSTIBLE EMBER GUARDS• ANY PENETRATING PIPE OF CONDUIT SHALL BE NON-COMBUSTIBLE• ALL GLAZED ASSEMBLIES FOR ROOF LIGHTS WHERE ROOF PITCH IS <18°, NON-COMBUSTIBLE EMBER GUARDS SHALL BE FITTED• GAPS >3mm TO BE SEALED WITH NON-COMBUSTIBLE MATERIAL
	FRAMING	NOT REQUIRED			
	JOINTS	ALL EXTERNAL SURFACE JOINTS SHALL BE COVERED, SEALED, OVERLAPPED, BACKED OR BUTT-JOINTED TO PREVENT GAPS GREATED THAN 3mm.			
	VENTS & WEEPHOLES	ALL GAPS WIDER THAN 3mm TO BE SCREENED WITH MESH WITH MAX 2mm APERTURE, MADE OF CORRSION-RESISTANT STEEL OR BRONZE, UNLESS IN EXTERNAL WALL OF SUBFLOOR SPACE.	GUTTERS & DOWNPIPES		DOWNPIPES - NR ALL GUTTERS & ASSOCIATED HARDWARE TO BE NON-COMBUSTIBLE

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QBCC 1194316 | TAS - CC7004

CLIENT:

BRODDIE HARRISON & EMMA MCVEAN

DRAWING TITLE:

BAL 19 NOTES

SCALE:

PROJECT: PROPOSED RESIDENCE

LOT 3 [LP 123087]

NO. 240 ASBURY ROAD

LURG, VIC 3673

PAGES: 12 of 17

SHEET SIZE: A3

JOB No: 180912

WINK + CO

Job No: 113-23

Date: 06/12/2023

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WINDOW SCHEDULE

DOWELL WINDOW SIZES

NO.	CODE	LOCATION	HEIGHT	WIDTH	HEAD HT (TBC)	WINDOW TYPE	COMMENTS
01	2141 ASD 0xxo	GARAGE	2100	4090	2100	4 PANEL BI-PARTING SLIDING DOOR 0xxo	
02	1206 ASW	STUDY	1200	610	2150	STANDARD SLIDING WINDOW	
03	1206 ASW	STUDY	1200	610	2150	STANDARD SLIDING WINDOW	
04	1806 ASW	FORMAL DINING	1800	610	2150	STANDARD SLIDING WINDOW	
05	1806 ASW	FORMAL DINING	1800	610	2150	STANDARD SLIDING WINDOW	
06	1806 ASW	FORMAL DINING	1800	610	2150	STANDARD SLIDING WINDOW	
07	1806 ASW	LOUNGE	1800	610	2150	STANDARD SLIDING WINDOW	
08	1806 ASW	LOUNGE	1800	610	2150	STANDARD SLIDING WINDOW	
09	1806 ASW	LOUNGE	1800	610	2150	STANDARD SLIDING WINDOW	
10	1206 ASW	ENS. 2	1200	610	2150	STANDARD SLIDING WINDOW	
11	1809 ASW	BED 5	1800	850	2150	STANDARD SLIDING WINDOW	
12	1809 ASW	BED 5	1800	850	2150	STANDARD SLIDING WINDOW	
13	1809 ASW	BED 4	1800	850	2150	STANDARD SLIDING WINDOW	
14	1809 ASW	BED 4	1800	850	2150	STANDARD SLIDING WINDOW	
15	1518 ASW	BED 3	1457	1810	2150	STANDARD SLIDING WINDOW	
16	1212 ASW	BATH	1200	1210	2150	STANDARD SLIDING WINDOW	
17	0906 ASW	BATH	857	610	2150	STANDARD SLIDING WINDOW	
18	1512 ASW	BED 2	1457	1210	2150	STANDARD SLIDING WINDOW	
19	1518 ASW	BED 2	1457	1810	2150	STANDARD SLIDING WINDOW	
20	2130 ASD 0xx	GAMES	2100	3084	2100	3 PANEL STACKER SLIDING DOOR 0xx	
21	1809 ASW	ALFRESCO	1800	850	2150	STANDARD SLIDING WINDOW	
22	1809 ASW	FAMILY	1800	850	2150	STANDARD SLIDING WINDOW	
23	2148 ASD 0xxo	DINING	2100	4810	2100	4 PANEL BI-PARTING SLIDING DOOR 0xxo	
24	2124 ASD xo	KITCHEN	2100	2410	2100	2 PANEL SLIDING DOOR xo	
25	2130 ASD xxo	BED 1	2100	3084	2100	3 PANEL STACKER SLIDING DOOR xxo	
26	1215 ASW	ENS. 1	1200	1450	2150	STANDARD SLIDING WINDOW	

DOOR SCHEDULE

NO.	LOCATION	HEIGHT	WIDTH	DESCRIPTION
01	ENTRY	2340	1200	1200 ENTRY HINGED DOOR [HUME JST-1 W/ CLEAR GLAZING]
02	LOUNGE	2340	1440	2x 720 HINGED DOORS
03	LINEN	2340	820	820 HINGED DOOR
04	PDR	2340	870	870 HINGED DOOR
05	PDR	2040	820	820 SOLID CORE HINGED DOOR - RATED TO BAL 19
06	BED 5	2340	870	870 HINGED DOOR
07	ENS. 2	2340	720	720 HINGED DOOR
08	BED 4	2340	870	870 HINGED DOOR
09	BED 2	2340	870	870 HINGED DOOR
10	BED 3	2340	870	870 HINGED DOOR
11	BATH	2340	870	870 HINGED DOOR
12	BRM	2340	720	720 HINGED DOOR
13	SAFE	1640	620	620 HINGED DOOR - HEIGHT TBC ON SITE
14	BED 1	2340	870	870 HINGED DOOR
15	ENS. 1	2340	720	720 CAVITY SLIDING DOOR
16	STORE	2340	720	720 HINGED DOOR
17	GARAGE	2340	870	870 HINGED DOOR
18	L'DRY	2340	870	870 HINGED DOOR
19	L'DRY	2040	820	820 ALUMINIUM FRAMED GLASS HINGED DOOR - SINGLE GLAZING & RATED TO BAL 19
20	GARAGE	2320	5500	SELECTED AUTO PANEL LIFT DOOR w/ EMBASEALS & RATED TO BAL 19
21	GARAGE	2320	2400	SELECTED AUTO PANEL LIFT DOOR w/ EMBASEALS & RATED TO BAL 19

- NOTES
- WINDOW SCHEDULE FOR INFORMATION ONLY
 - REFER TO PLANS FOR WINDOW LOCATIONS & CODES. FLOOR PLAN TAKES PRECEDENCE OVER SCHEDULE WINDOWS.
 - REFER TO MANUFACTURERS CATALOGUES & DETAILS FOR EXACT SIZES
 - WINDOWS & DOORS TO BE DESIGNED TO SUIT DESIGNATED WIND TERRAIN CATEGORY
 - PROVIDE ALL SUB SILL, TRANSOM, MULLIONS, ETC. TO ACHIEVE FENESTRATION PATTERN AS SHOWN ON THE ELEVATIONS
 - PROVIDE LIFT OFF HINGES TO WC DOORS TO COMPLY WITH NCC REGULATIONS
 - ALL HEAD HEIGHTS ARE TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION / FRAME FABRICATION

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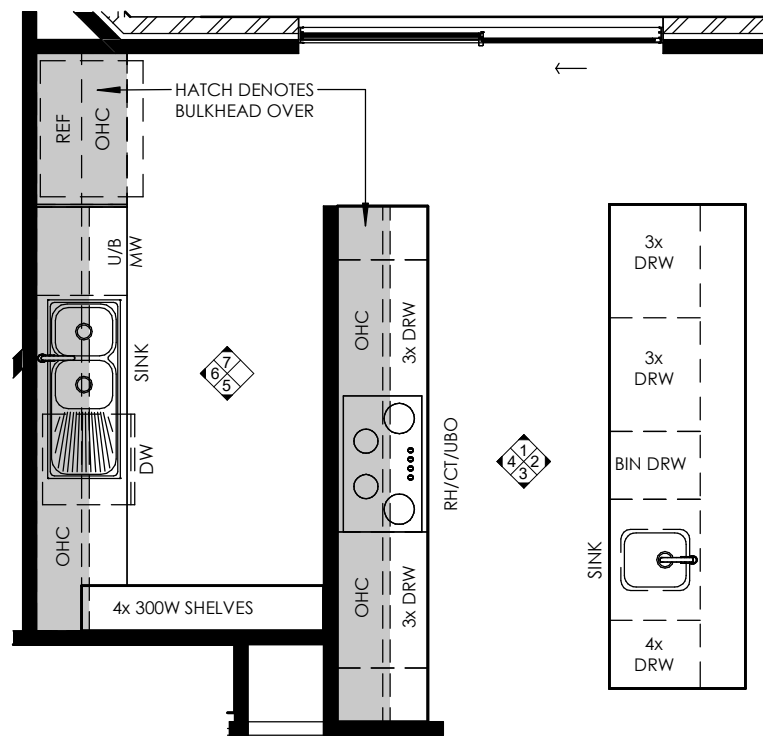
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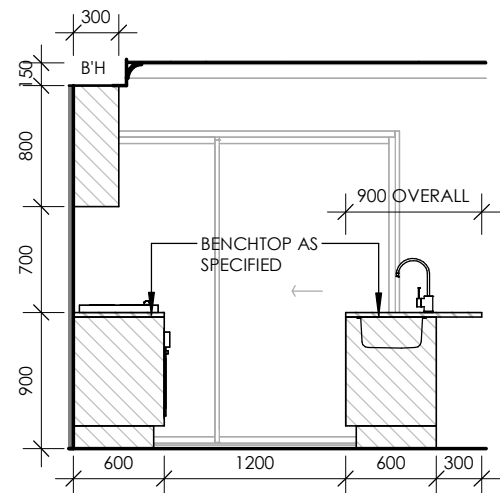
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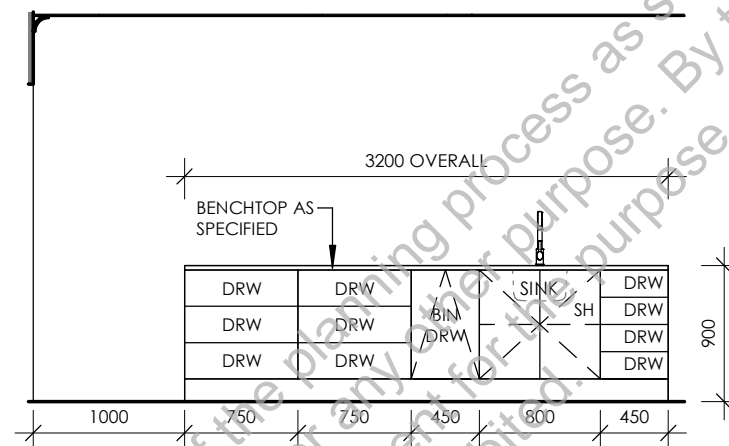
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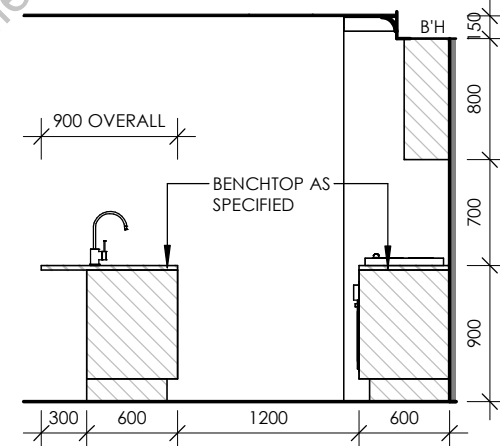
KITCHEN / B. PANTRY PLAN



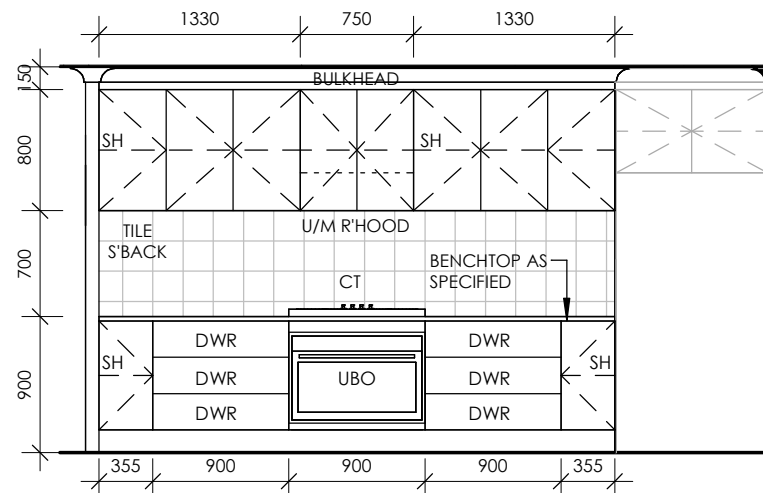
KITCHEN - ELEV. 1



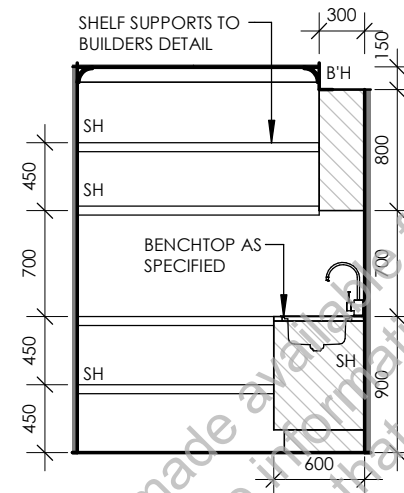
KITCHEN - ELEV. 2



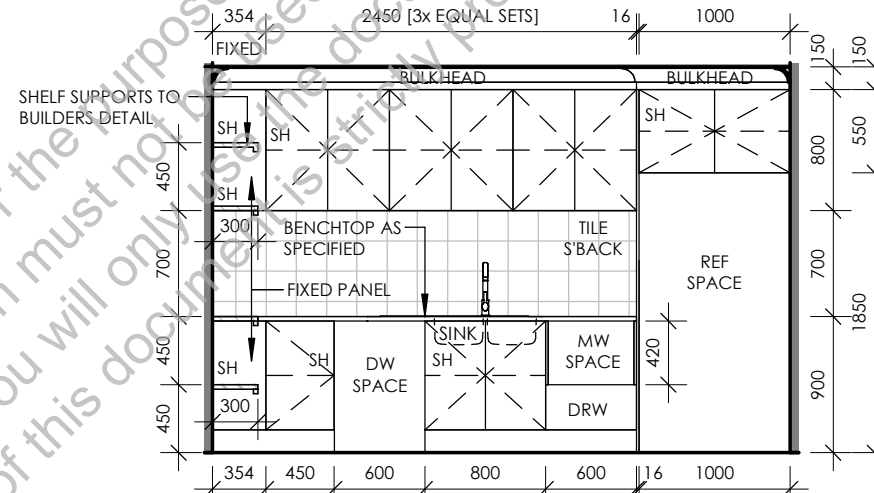
KITCHEN - ELEV. 3



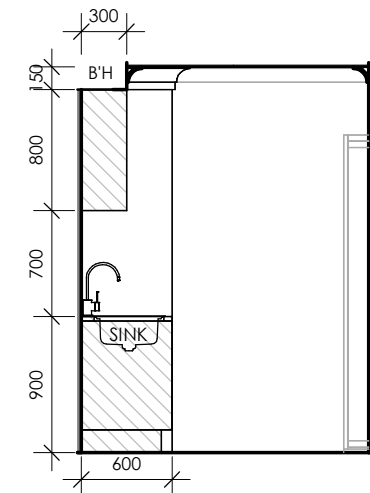
KITCHEN - ELEV. 4



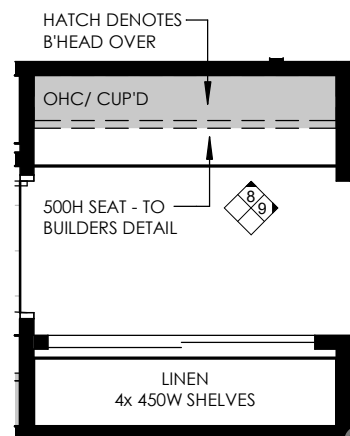
B. PANTRY - ELEV. 5



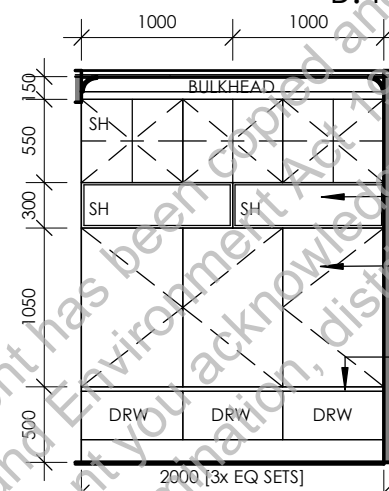
B. PANTRY - ELEV. 6



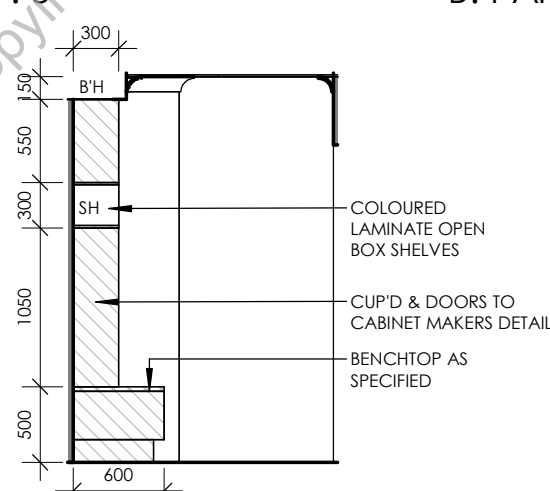
B. PANTRY - ELEV. 7



MUD PLAN



MUD - ELEV. 8



MUD - ELEV. 9

- WET AREA NOTES:**
- ALL WET AREA WATERPROOFING TO BE CONSTRUCTED IN ACCORDANCE WITH THE NCC 2022 HOUSING PROVISIONS
- GENERAL NOTES:**
- FINAL CABINETRY TBC BY BUILDER
 - TILING HEIGHTS MAY VARY DUE TO TILES SELECTED
 - ALL DIMENSIONS ARE TO UNFINISHED STUD WALL NOT TO INTERNAL LINING SURFACE
- OTS** DENOTES OWNER TO SUPPLY & BUILDER TO INSTALL

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATION REQUESTED AFTER SIGNING WILL INCURE A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED.

OWNER SIGNED:..... DATE:
 OWNER SIGNED:..... DATE:
 BUILDER SIGNED:..... DATE:

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G.J. Gardner. HOMES
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 PHONE. 02 6056 8889, FAX. 02 60567889
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'MONTVILLE 462' MOD.
 RESORT FACADE WITH SELECT
 INCLUSIONS
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 TO G.J. GARDNER HOMES

PLANS BY
WINK + CO
 07 3060 5089
 projects@winkandco.com.au
 WINKANDCO.COM.AU
 QBCC 1194316 | TAS - CC7004

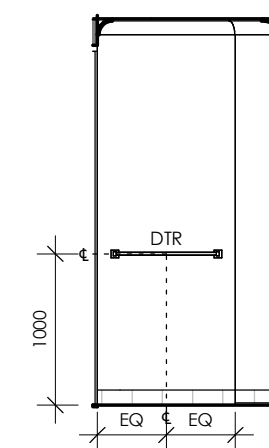
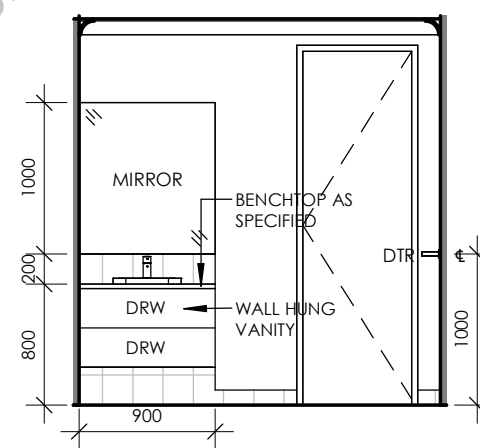
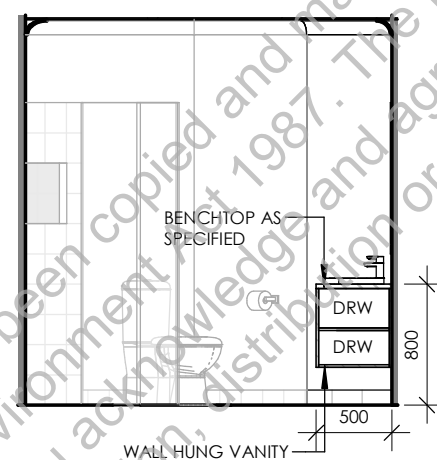
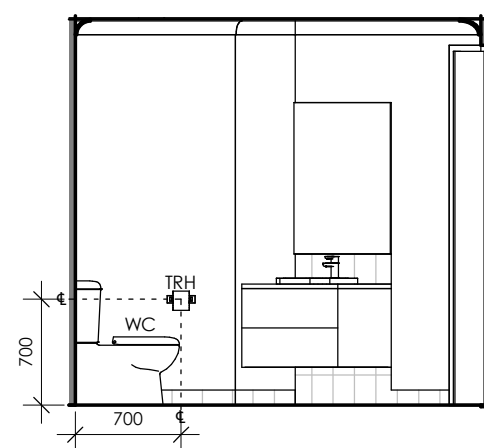
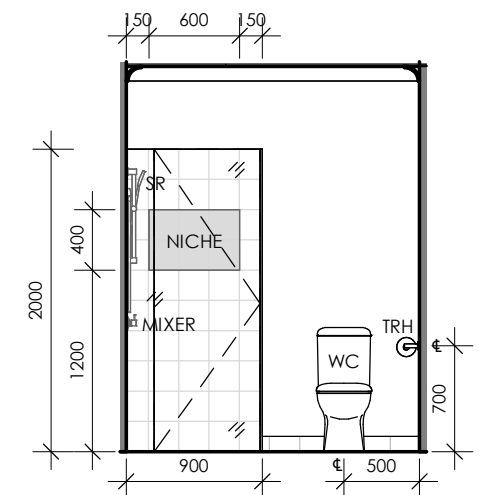
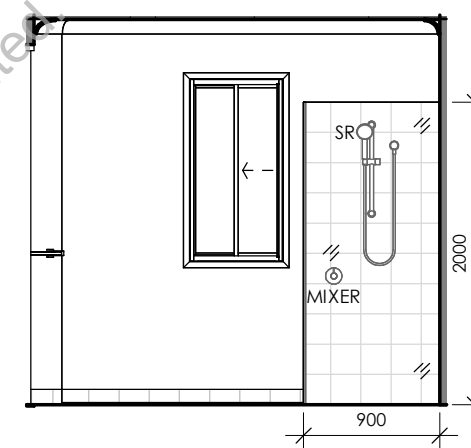
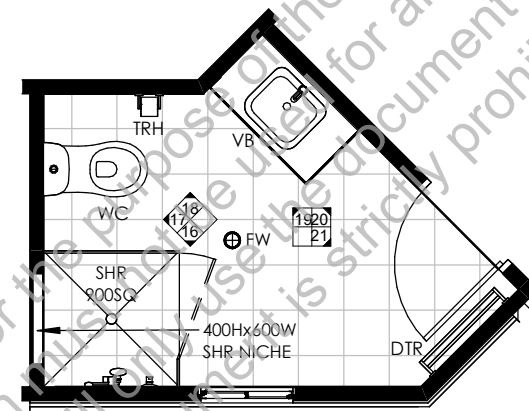
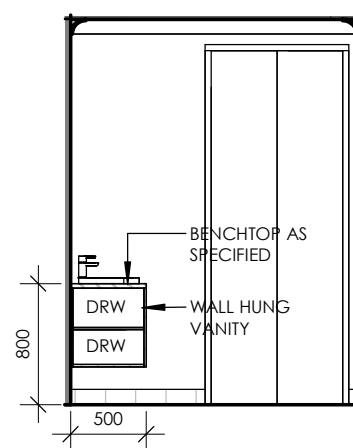
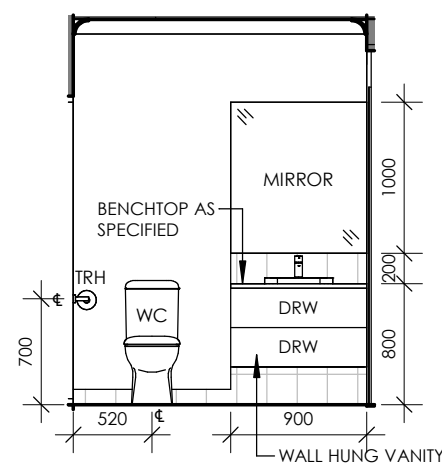
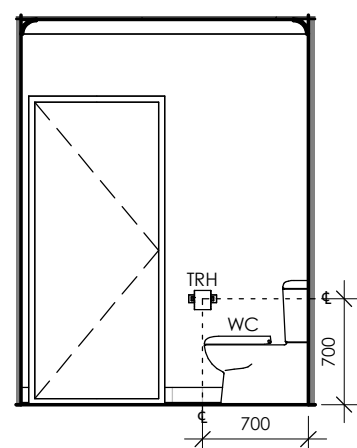
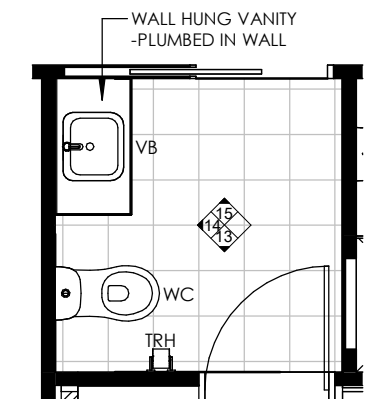
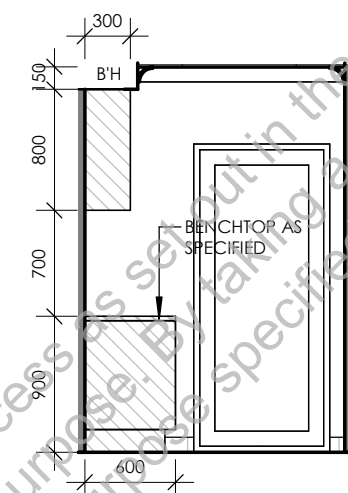
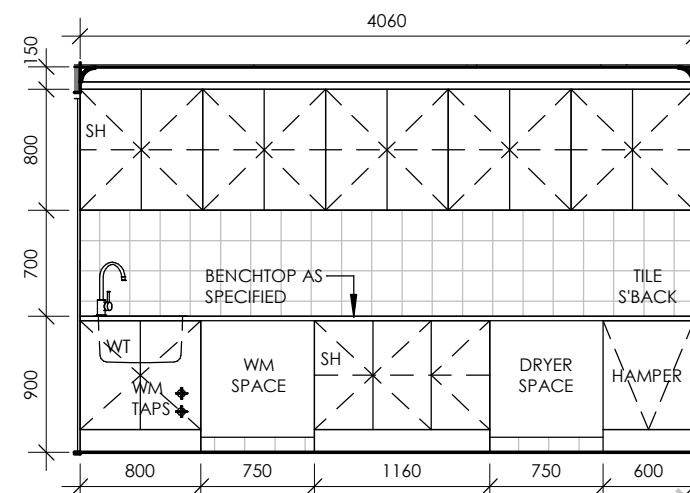
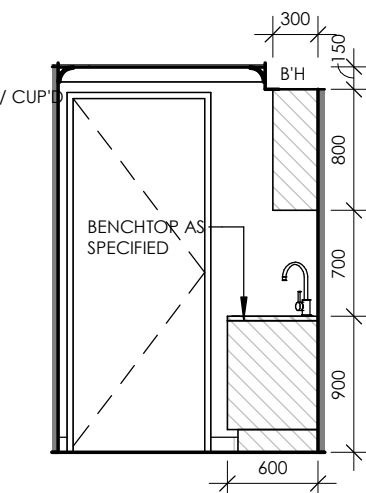
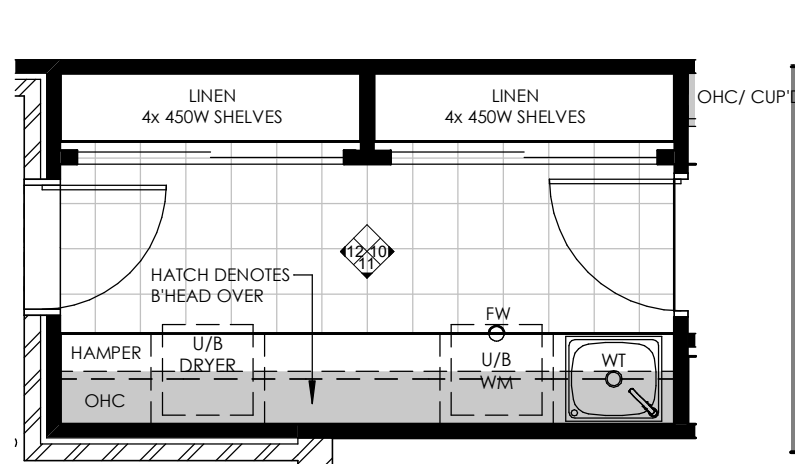
CLIENT:
 BRODDIE HARRISON &
 EMMA MCVEAN
 DRAWING TITLE:
 INTERNALS

SCALE: 1 : 50

PROJECT: PROPOSED RESIDENCE
 LOT 3 [LP 123087]
 NO. 240 ASBURY ROAD
 LURG, VIC 3673

PAGES: 14 of 17	SHEET SIZE: A3	AREA
JOB No: 180912	WINK + CO	LIVING: 335.11 m ²
Date: 06/12/2023	Job No: 113-23	ALFRESCO: 133.23 m ²
		PORCH: 28.86 m ²
		GARAGE: 58.92 m ²
		TOTAL: 556.12 m ²

REV	COMMENTS	DATE	DRWN	CKD
A	WORKING DRAWINGS	06/12/23	ACG	EK
B	AMENDMENTS	18/12/23	ACG	EK
C				
D				
E				
F				
G				



WET AREA NOTES:

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GENERAL NOTES:

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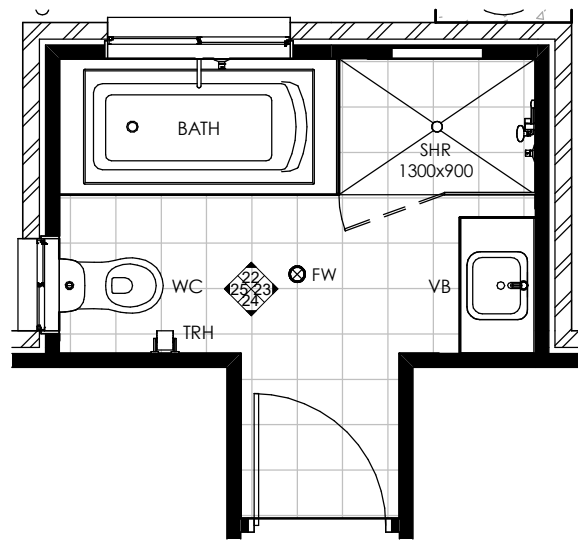
OTS DENOTES OWNER TO SUPPLY & BUILDER TO INSTALL

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATION REQUESTED AFTER SIGNING WILL INCURE A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED.

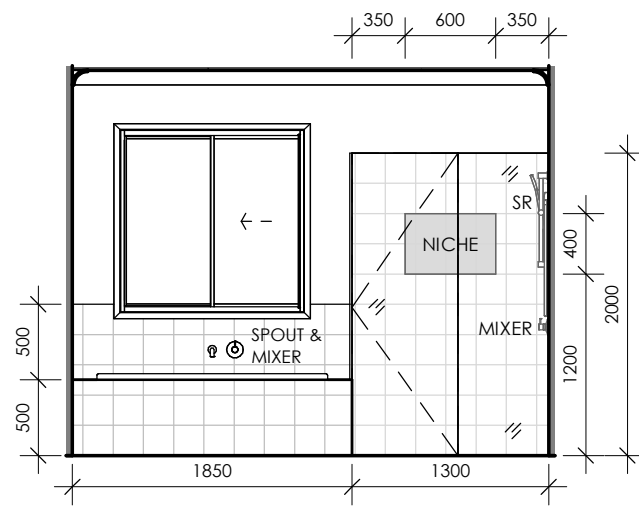
OWNER SIGNED: _____ DATE: _____

OWNER SIGNED: _____ DATE: _____

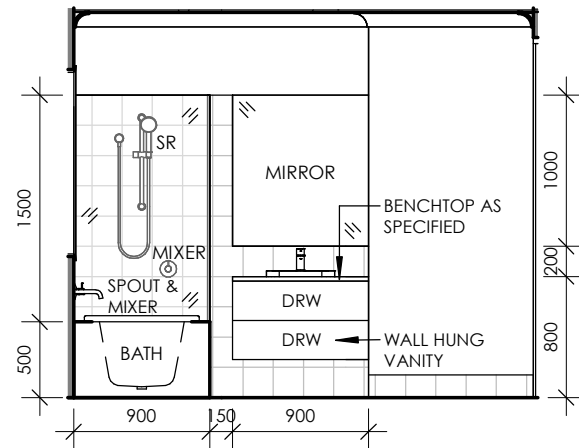
BUILT FOR SIGNED: _____ DATE: _____



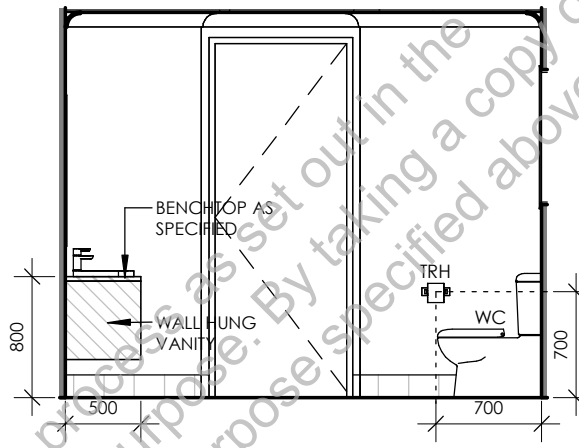
BATH PLAN



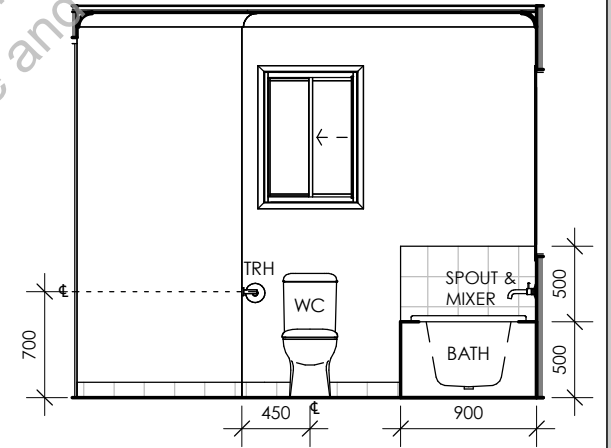
BATH - ELEV. 22



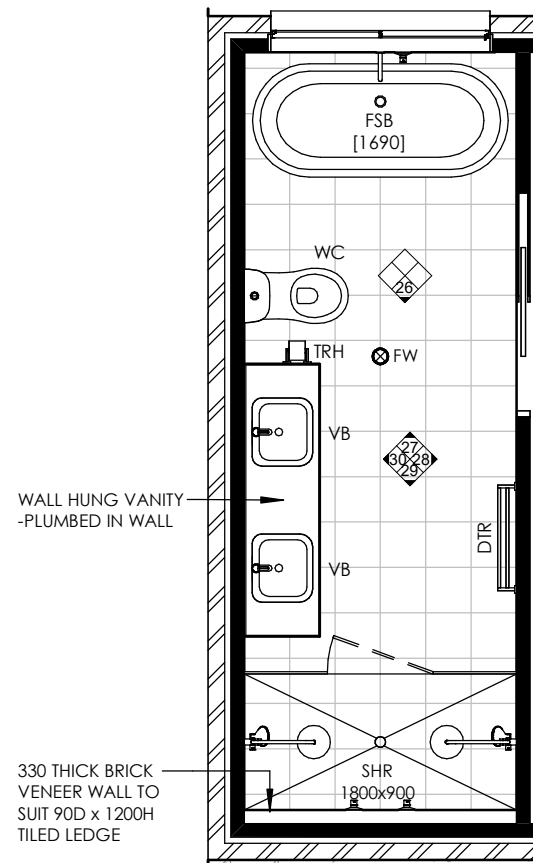
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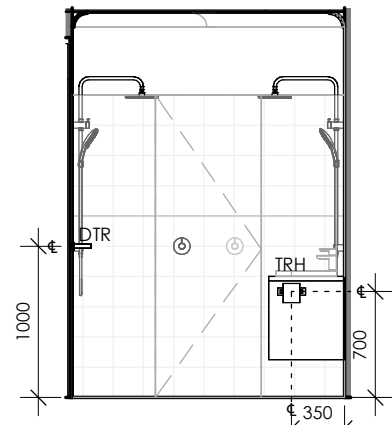
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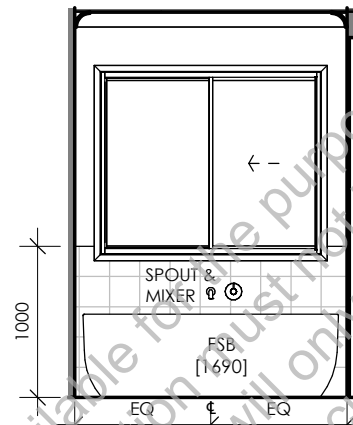
BATH - ELEV. 25



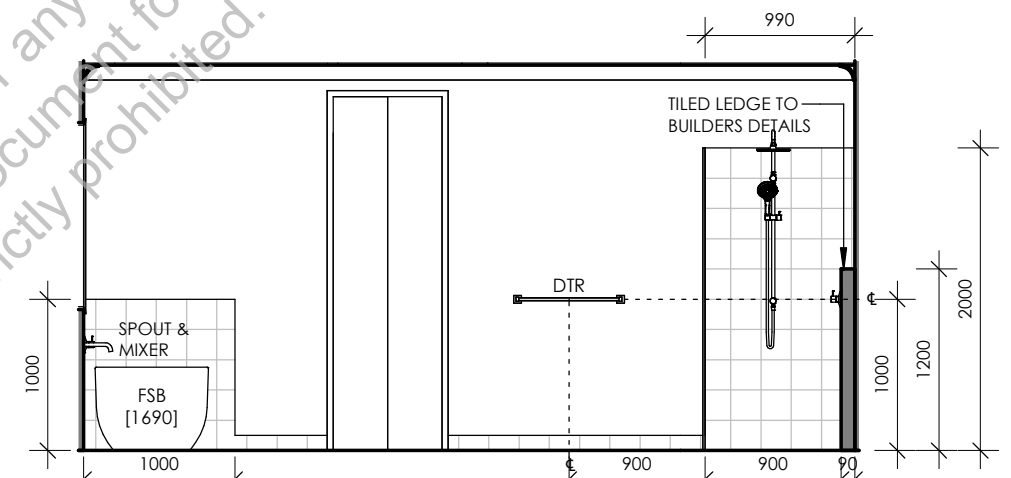
ENSUITE 1 PLAN



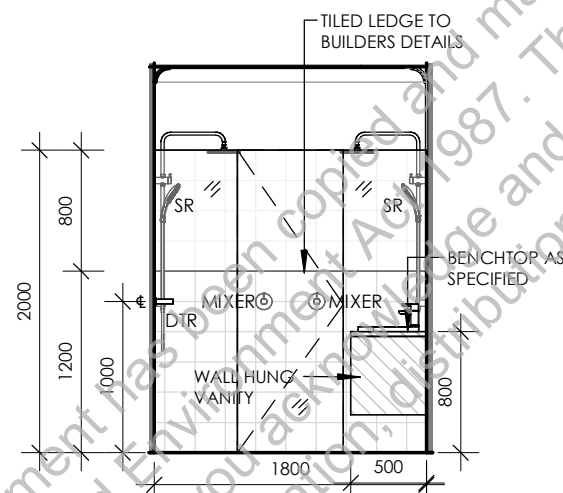
ENSUITE 1 - ELEV. 26



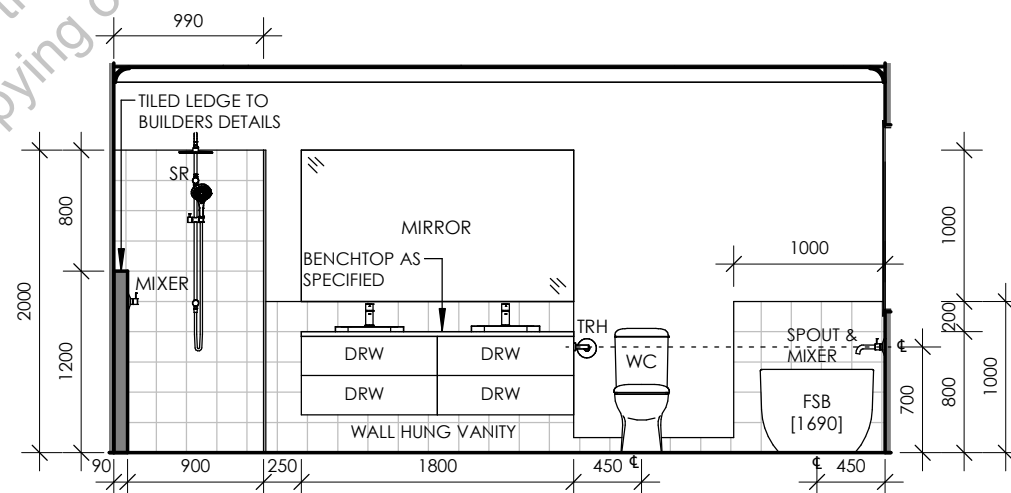
ENSUITE - ELEV. 27



ENSUITE - ELEV. 28



ENSUITE - ELEV. 29



ENSUITE - ELEV. 30

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G.J. Gardner. HOMES

GJ GARDNER
WODONGA
T/A HUON HOMES PTY LTD
CDB-U 53693

15A STANLEY STREET
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PHONE. 02 6056 8889, FAX. 02 60567889
EMAIL: wodonga@gjgardner.com.au

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PLANS BY
WINK + CO
07 3060 5089
projects@winkandco.com.au
WINKANDCO.COM.AU
QBCC 1194316 | TAS - CC7004

CLIENT:
BRODDIE HARRISON &
EMMA MCVEAN

DRAWING TITLE:
INTERNALS

SCALE: 1 : 50

PROJECT: PROPOSED RESIDENCE
LOT 3 [LP 123087]
NO. 240 ASBURY ROAD
LURG, VIC 3673

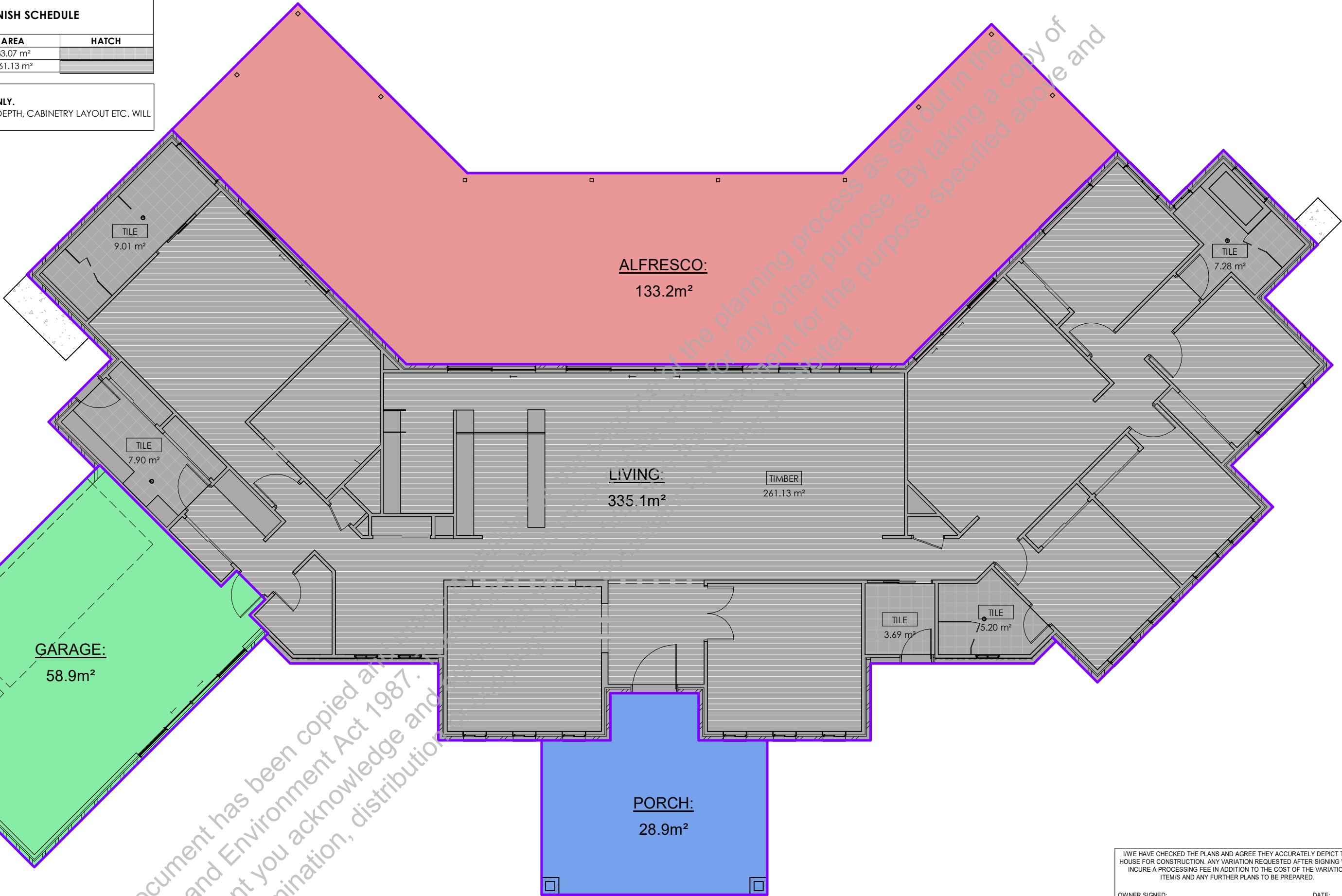
PAGES: 16 of 17
SHEET SIZE: A3
JOB No: 180912
WINK + CO
Job No: 113-23
Date: 06/12/2023

AREA
LIVING: 335.11 m²
ALFRESCO: 133.23 m²
PORCH: 28.86 m²
GARAGE: 58.92 m²
TOTAL: 556.12 m²

REV	COMMENTS	DATE	DRWN	CKD
A	WORKING DRAWINGS	06/12/23	ACG	EK
B	AMENDMENTS	18/12/23	ACG	EK
C				
D				
E				
F				
G				

FLOOR FINISH SCHEDULE		
CODE	AREA	HATCH
TILE	33.07 m ²	
TIMBER	261.13 m ²	

NOTE:
AREAS ARE APPROXIMATE ONLY.
VARIABLES SUCH AS KICKER DEPTH, CABINETY LAYOUT ETC. WILL
CHANGE TOTALS.



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G.J. Gardner.

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WODONGA
T/A HUON HOMES PTY LTD
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WODONGA, VIC, 3690
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EMAIL: wodonga@gjgardner.com.au

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PLANS BY
WINK + CO
07 3060 5089
projects@winkandco.com.au
WINKANDCO.COM.AU
QBCC 1194316 | TAS - CC7004

CLIENT:
**BRODDIE HARRISON &
EMMA MCVEAN**

DRAWING TITLE:
AREA & FINISHES PLAN

SCALE: 1 : 100

PROJECT: PROPOSED RESIDENCE
LOT 3 [LP 123087]
NO. 240 ASBURY ROAD
LURG, VIC 3673

PAGES:	17 of 17	SHEET SIZE:	A3
JOB No:	180912		
WINK + CO			
Job No:	113-23		
Date:	06/12/2023		

AREA	
LIVING:	335.11 m ²
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B	AMENDMENTS	18/12/23	ACG	EK
C				
D				
E				
F				
G				

- See LP123087 for Lot title information
- Levels shown are Arbitrary
- Contour intervals are 0.2m
- Not a title Re-Establishment Survey

JHayLandSurvey
JhayLandsurvey@tpg.com.au

SOIL CLASSIFICATION: H1-D

PROPOSED 4m WIDE
ACCESS-WAY DRIVEWAY TO
ABUT WITH EXISTING
CROSSOVER - EXTENTS TBC ON
SITE (APP'X AREA 3185.78 m²)

742.4

16.20ma

(VACANT)

LOT 3

634.4

— APPROX LOCATION OF EFFLUENT FIELD DISPOSAL AREA:

- SECONDARY TREATMENT SYSTEM
- SUB-SURFACE DRIP IRRIGATION
- AREA REQUIRED - 5.17sqm MIN.

APPROX LOCATION OF EFFLUENT FIELD
DISPOSAL AREA:
- SECONDARY TREATMENT SYSTEM
- SUB-SURFACE DRIP IRRIGATION
- AREA REQUIRED 5.17sqm MIN.

— PROPOSED 4m WIDE
ACCESS-WAY DRIVEWAY TO
ABUT WITH EXISTING
CROSSOVER - EXTENTS TBC O
SITE (APP'X AREA 3185.78 m²)

**TBM
NAIL PLACED
RL: 100.00 ARB**

APPROX LOCATION OF 25,000L
WATER TANK WITH CFA
FITTINGS FOR CFA PURPOSES
w/ 3200SQ CONC. PAD UNDER
(APP'X AREA 10.24 m²)

DASH DENOTES STAR
PICKET FENCE

(APPROX. 45m)

(APPROX. 66m)
TALL ELECT

AREAS INCLUDE: PADS, PATHS,
AREAS EXCLUDE: DRIVEWAY & CROSSOVER

	<p>GROUND LEVELS, FINISHED FLOOR LEVELS, SITE WORKS & RETAINING ARE INDICATIVE ONLY & ARE TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION. SITE PLANS ARE TO BE READ IN CONJUNCTION WITH ANY SURVEY/ENGINEERING PLANS AVAILABLE.</p> <ul style="list-style-type: none"> ALL DIMENSIONS ARE TO BE CHECKED WITH EXISTING AND PROPOSED SITE CONDITIONS. WRITTEN DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED NO VARIATION MAY BE MADE TO THESE DRAWINGS WITHOUT THE PRIOR APPROVAL OF THE BUILDING DESIGNER REFER TO ENGINEERS DESIGN, DOCUMENTATION & CALCULATION FOR DETAILS ON SLAB, FOOTINGS, STRUCTURE, RETAINING WALLS, FINISHED FLOOR LEVELS, SITEWORKS & STORMWATER DETAILS. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS SHEETS, CONSULTANTS DRAWINGS, DOCUMENTS, SCHEDULES AND SPECIFICATIONS (AS APPLICABLE). THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES & THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING &/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING & UNDERMINING OF ANY BUILDING & ITS FOOTING SYSTEM. LOCATION OF ALL EXISTING ONSITE SERVICES TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION
--	--

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH
NCC REQUIREMENTS & AS. 3959-2018

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OWNER SIGNED: _____ DATE: _____

OWNER SIGNED: _____ DATE: _____

BUILDER SIGNED: _____ DATE: _____

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REV	COMMENTS	DATE	DRWN	CKD
0				

A	WORKING DRAWINGS	06/12/23	ACG	EK
B	AMENDMENTS	18/12/23	ACG	EK

2	C	AMENDMENTS	09/02/24	KS	EK
---	---	------------	----------	----	----

D	AMENDMENTS	14/02/24	TD	EK
F	AMENDMENTS	20/02/24	ACG	SW

F				

[illegible]

1:5000

1:1000

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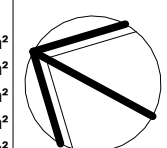
CLIENT:
BRODDIE HARRISON &
EMMA MCVEAN

DRAWING TITLE:
PARTIAL SITE & LOCALITY PLAN

SCALE:AS NOTED

PROJECT: PROPOSED RESIDENCE
LOT 3 [LP 123087]
NO. 240 ASBURY ROAD
LURG, VIC 3673

PAGES: 2 of 18		SHEET SIZE: A3		AREA	
JOB No: 180912		LIVING:		335.11 m ²	
WINK + CO		ALFRESCO:		133.23 m ²	
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REV	COMMENTS	DATE	DRWN	CHK
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B	AMENDMENTS	18/12/23	ACG	EK
C	AMENDMENTS	09/02/24	KS	EK
D	AMENDMENTS	14/02/24	TD	EK
E	AMENDMENTS	20/02/24	ACG	SW
F				
G				

GJ GARDNER
WODONGA
HUON HOMES PTY LTD PHONE: 02 6056 8889, FAX: 02 60567889
CDB-U 53693 EMAIL: wodonga@gjgardner.com.au

Bushfire Attack Level Assessment Tool



Topographical Information

Site slope

-5 deg

Distance to vegetation (measured horizontally)

25 m

Vegetation Information

Effective slope under vegetation

-5 deg

Predominant vegetation type

B. Woodland

Bushfire Characteristics

Radiant Heat Flux

13.9 kW/m²

Flame length

11.3 m

Rate of Spread

1.3 km/h

Distances of Bushfire Attack Levels

BAL-LOW	BAL-12.5	BAL-19	BAL-29	BAL-40	BAL-FZ
more than 100m	99-28m	27-20m	19-14m	13-10m	9-0m

Fire Spread Input

Forest Fire Danger Index

FFDI 100

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REGISTRATION CONFIRMATION STATEMENT

Produced: 02/08/2023 01:06:47 PM

VOLUME 9262 FOLIO 314

LAND DESCRIPTION

Lot 3 on Plan of Subdivision 123087.
PARENT TITLE Volume 06885 Folio 823
Created by instrument LP123087 14/04/1978

REGISTERED PROPRIETOR

Estate Fee Simple
Joint Proprietors

BRODIE JOHN HARRISON
EMMA KATE MCVEAN both of 25 HELMS COURT BENALLA VIC 3672
AX111673F 02/08/2023

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP123087 FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER	STATUS	DATE
AX111672H (E)	DISCHARGE OF MORTGAGE Registered	02/08/2023

AX111673F (E)

TRANSFER

Registered

02/08/2023

Additional information:

Street Address: 240 ASBURY ROAD LURG VIC 3673

ADMINISTRATIVE NOTICES

NIL

eCT Control 19806V KEY CONVEYANCING (VICTORIA) PTY. LTD.
Effective from 02/08/2023

DOCUMENT END

Lodgement No: 8142336

Email: ARICKARD@KEYCONVEYANCINGVIC.COM.AU

Customer Code: 19806V

Customer Name: KEY CONVEYANCING (VICTORIA) PTY. LTD.

Secure Electronic Registries Victoria (SERV)

Level 13, 697 Collins Street Docklands 3008

Locked bag 20005, Melbourne 3001, DX 210189

Telephone: (03) 9102 0401 ABN: 86 627 986 396

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LP123087

EDITION 1

APPROVED 16/9/77

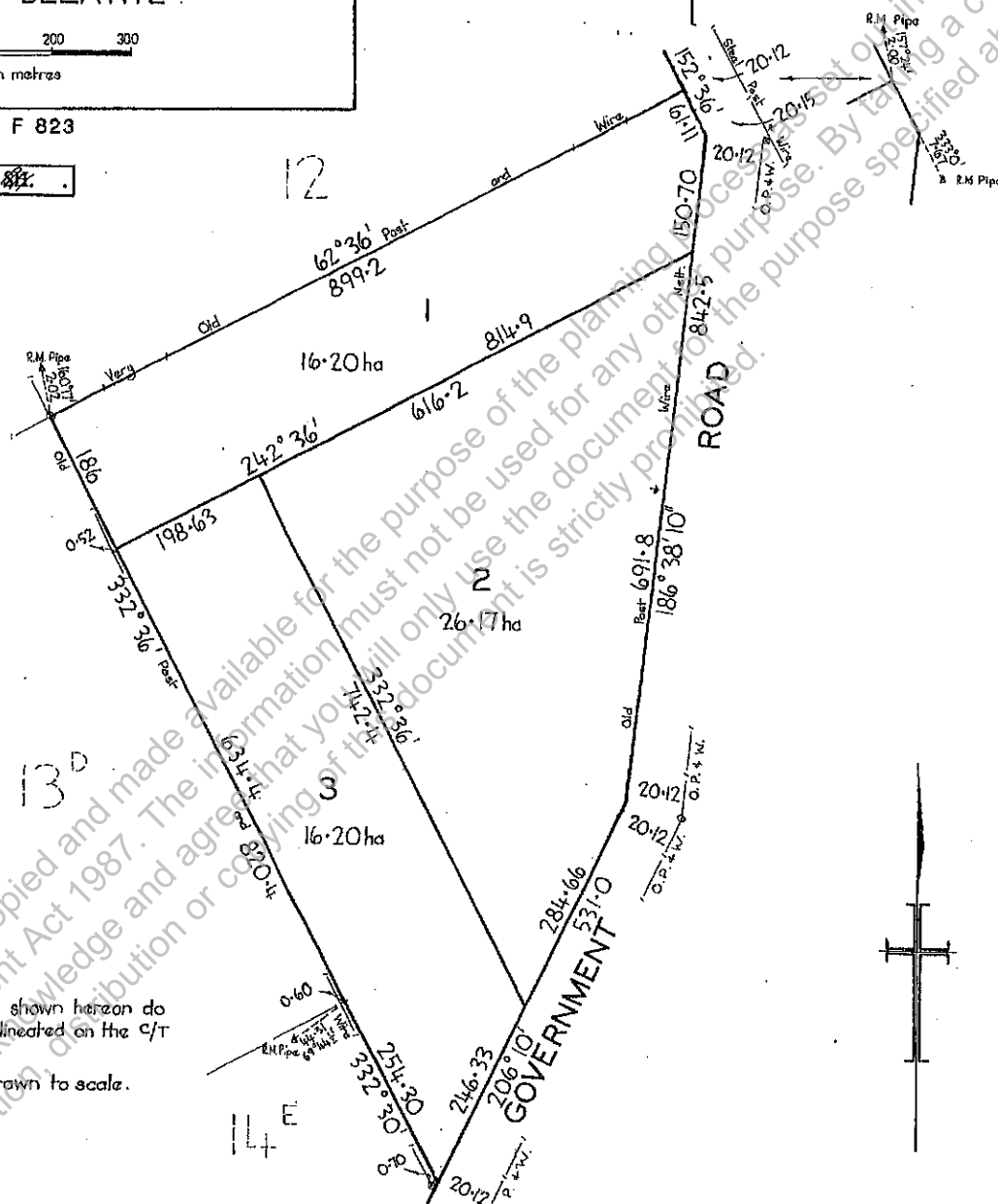
PLAN OF SUBDIVISION CROWN ALLOTMENT 12A PARISH OF LURG COUNTY OF DELATITE	APPROPRIATIONS	ENCUMBRANCES
	Nil	Nil

100 50 0 100 200 300
Lengths are in metres

V 6885 F 823

LITHO 84

12



The external boundaries shown hereon do not agree with those delineated on the C/T (see Surveyors report).
Road widths are not drawn to scale.

14 E

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